



LOT INFORMATION:

MAIN STORE / GAS STATION PARCEL # : 200-017-300-020-06

PROPERTY ZONING: B-3 (GENERAL BUSINESS DISTRICT)

COUNTY: EATON COUNTY

TOWNSHIP: EATON

ACRES OF PROPERTY: 28.10±

TOTAL DISTURBED AREA : 4,439 ± SQUARE FEET

NEW IMPERVIOUS AREA: 2,818 ± SQUARE FEET (FREEZER ADDITION, AGGREGATE BED INFILL AND GAS STATION

LAND USE: GROCERY / RETAIL STORE AND GAS STATION / CONVENIENCE STORE

TOTAL PROPOSED FLOOR AREA: 1,743 SF (1,304 SF FREEZER AND 439 SF GAS STATION ADDITION.

FLOOR COVERAGE RATIO: 15% OF LOT IS COVERED BY A BUILDING

NUMBER OF BUILDINGS ON-SITE: TWO (2) BUILDINGS (MAIN STORE AND

<u>HEIGHT OF THE BUILDING - EXISTING AND ADDITIONS:</u> EXISTING STORE BUILDING = 40'-10" FREEZER ADDITION AT STORE= 11'-7" EXISTING GAS STATION = 24'-5"

EXISTING PARKING

(MAIN STORE AND GAS STATION):

STORE PARKING LOT: 729 STANDARD SPACES 18 HANDICAP ACCESSIBLE SPACES

745 TOTAL SPACES **EXISTING CART CORRALS: 13 CORRALS**

GAS STATION PARKING LOT: 11 STANDARD SPACES 1 HANDICAP ACCESSIBLE SPACES

2 PARKING SPACES AT EACH GAS PUMP 24 TOTAL SPACES

TOTAL PARKING SPACES: 745 + 24 = 769 TOTAL SPACES

(1 SPACE PER 150 SQUARE FEET OF USEABLE FLOOR AREA) 123,987 SF (STORE AND GAS STATION) / 150 SF = 827 REQUIRED SPACES

PROPOSED PARKING (MAIN STORE AND GAS STATION):

STORE PARKING LOT: 729 STANDARD SPACES 18 HANDICAP ACCESSIBLE SPACES 745 TOTAL SPACES

EXISTING CART CORRALS: 13 CORRALS

10 STANDARD SPACES 1 HANDICAP ACCESSIBLE SPACES 2 PARKING SPACES AT EACH GAS PUMP

TOTAL PARKING SPACES: 745 + 23 = 768 TOTAL SPACES

REQUIRED PARKING SPACES: (1 SPACE PER 150 SQUARE FEET OF USEABLE FLOOR AREA) 123,987 SF (STORE AND GAS STATION) / 150 SF = 827 REQUIRED SPACES

SURVEY NOTE:

EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY SME, PROJECT #087839.00 DATED OCTOBER 25, 2021. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.

SITE BENCHMARK PROVIDED FROM TOPOGRAPHIC SURVEY BY SME.

LEGAL DESCRIPTION:

MEIJER STORE #194 - CHARLOTTE, EATON CO., MI CORPORATE OWNER: MEIJER, INC.

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 17, TOWN 2 NORTH, RANGE 4 WEST, CITY OF CHARLOTTE, EATON COUNTY, MICHIGAN,

FURTHER DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 17, TOWN 2 NORTH, RANGE 4 WEST:

THENCE SOUTH 88°45'05" EAST, 193.09 FEET ALONG THE SOUTH LINE OF SAID SECTION 17:

THENCE NORTH 00°36'28" EAST, 50.01 FEET, TO THE NORTHERLY RIGHT OF WAY LINE OF HIGHWAY M-59 (CLINTON TRAIL); THENCE ALONG SAID RIGHT OF WAY LINE SOUTH 88°45'04" EAST, 108.97 FEET, TO THE POINT OF BEGINNING; THENCE NORTH 52°14'35" WEST, 14.78 FEET; THENCE NORTH 01°14'56" EAST, 75.73 FEET; THENCE NORTHERLY 113.41 FEET ALONG THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 1033.00 FEET, A CENTRAL ANGLE OF 06°17'26", AND A CHORD WHICH BEARS NORTH 01°53'47" WEST, 113.36 FEET; THENCE NORTH 05°02'30" WEST, 202.26 FEET; THENCE NORTHERLY 106.17 FEET ALONG THE ARC OF A CURVE TO THE THE SOUTHERLY RIGHT OF WAY LINE OF THE NEW YORK CENTRAL RAILROAD; THENCE ALONG SAID RIGHT OF WAY LINE SOUTH 76°52'17" EAST, 1073.96 FEET TO THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE ALONG SAID EAST LINE, SOUTH 00°18'42" WEST. 1052.13 FEET TO THE SOUTH LINE OF SAID SECTION 17; THENCE NORTH 88°45'05" WEST, 1022.08 FEET; THENCE NORTH 01°14'55" EAST, 55.00 FEET TO THE POINT OF

TOGETHER WITH:

A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 18, TOWN 2 NORTH, RANGE 4 WEST, CITY OF CHARLOTTE, EATON COUNTY, MICHIGAN DESCRIBED AS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 18; THENCE NORTH 00°23'41" EAST ALONG THE EAST LINE OF SECTION 18 A DISTANCE OF 131.66 FEET TO THE NORTHEASTERLY RIGHT OF WAY LINE OF HIGHWAY I-69; THENCE ALONG SAID RIGHT OF WAY LINE FOR THE NEXT THREE COURSES: NORTH 42°19'11" WEST, 106.55 FEET, NORTH 01°13'05 EAST, FOR 230.95 FEET, NORTH 52°28'52" WEST, FOR 22.81 FEET, TO THE POINT OF BEGINNING; THENCE FROM SAID POINT OF BEGINNING, CONTINUING ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE OF HIGHWAY I-69 FOR THE NEXT SIX COURSES: NORTH 52°28'52" WEST, FOR 513.46 FEET, NORTH 38° 58'50" WEST, FOR 312.41 FEET, NORTH 17°05'54" WEST, FOR 354.19 FEET, NORTH 00°49'30" EAST, FOR 40.00 FEET, SOUTH 89°10'30" EAST, FOR 4.00 FEET, AND NORTH 00°49'30" EAST, FOR 127.25 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF THE NEW YORK CENTRAL RAILROAD; THENCE ALONG SAID RIGHT OF WAY LINE SOUTH 76°52'17" EAST, FOR 725.78 FEET; THENCE SOUTH 00°20'27" WEST, FOR 896.42 FEET TO THE POINT OF BEGINNING.

SITE PLAN NOTES:

1. OWNER INFORMATION: MEIJER, INC. (GOOD WILL, INC.)

WETLAND AREA.

- 2350 THREE MILE ROAD GRAND RAPIDS, MI 49544
- 2. STORM DRAINAGE PATTERNS AND STORM WATER MANAGEMENT SHALL REMAIN AS EXISTING. THERE WILL BE A SLIGHT INCREASE IN IMPERVIOUS AREA WHICH WILL
- ALSO INCREASE STORMWATER QUALITY. 3. PROPOSED CONSTRUCTION IS NOT LOCATED IN A DESIGNATED FLOODPLAIN OR
- 4. EXISTING UTILITIES SHALL REMAIN._EXISTING BUILDING AND POLE-MOUNTED SITE LIGHTING FIXTURES SHALL REMAIN UNLESS SHOWN TO BE RELOCATED. ANY NEW PROPOSED LIGHT FIXTURES SHALL BE SHIELDED AS REQUIRED BY ZONING ORDINANCE LIGHTING REQUIREMENTS.
- 5. EXISTING LANDSCAPING SHALL REMAIN. 6. CONSTRUCTION DRAWINGS WILL INCLUDE REQUIRED SOIL EROSION CONTROL
- MEASURES INCLUDING INLET PROTECTION AT ALL AFFECTED STORMWATER INLETS. 7. SEE ARCHITECTURAL DRAWINGS FOR CHANGES TO EXTERIOR SIGNAGE.

FIRE DEPARTMENT NOTES:

1. THE EXISTING BUILDING ADDRESS(S) SHALL REMAIN UNCHANGED. 2. EXISTING FIRE LANES AND FIRE DEPARTMENT ACCESS ROAD WIDTHS SHALL REMAIN. 3. ALL FIRE HYDRANTS SHALL REMAIN.

122,578 SF

MAIN STORE SQUARE FOOTAGE:

(INCLUDES GARDEN CENTER AREA) EXISTING GROSS FLOOR AREA: 184,723 SF

USEABLE FLOOR AREA:

PROPOSED GROSS FLOOR AREA: 186,027 SF

GAS STATION BUILDING **SQUARE FOOTAGE:**

EXISTING GROSS FLOOR AREA: 2,573 SF PROPOSED GROSS FLOOR AREA: 3,012 SF USEABLE FLOOR AREA:



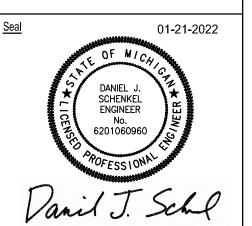
11 E. Wayne St., Suite 555, Fort Wayne, Indiana 46802 260-424-9080

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CONSULTANT



1020 Diebold Road, Fort Wayne, IN 46845 Ph: (260) 490-1025 Fax: (260) 490-1026 www.engineeringresourcesinc.com





Store 194 Gas Station -Addition

MEIJER PROJECT #: CP-22-00194

1085 E Clinton Trail,

Charlotte, MI 48813

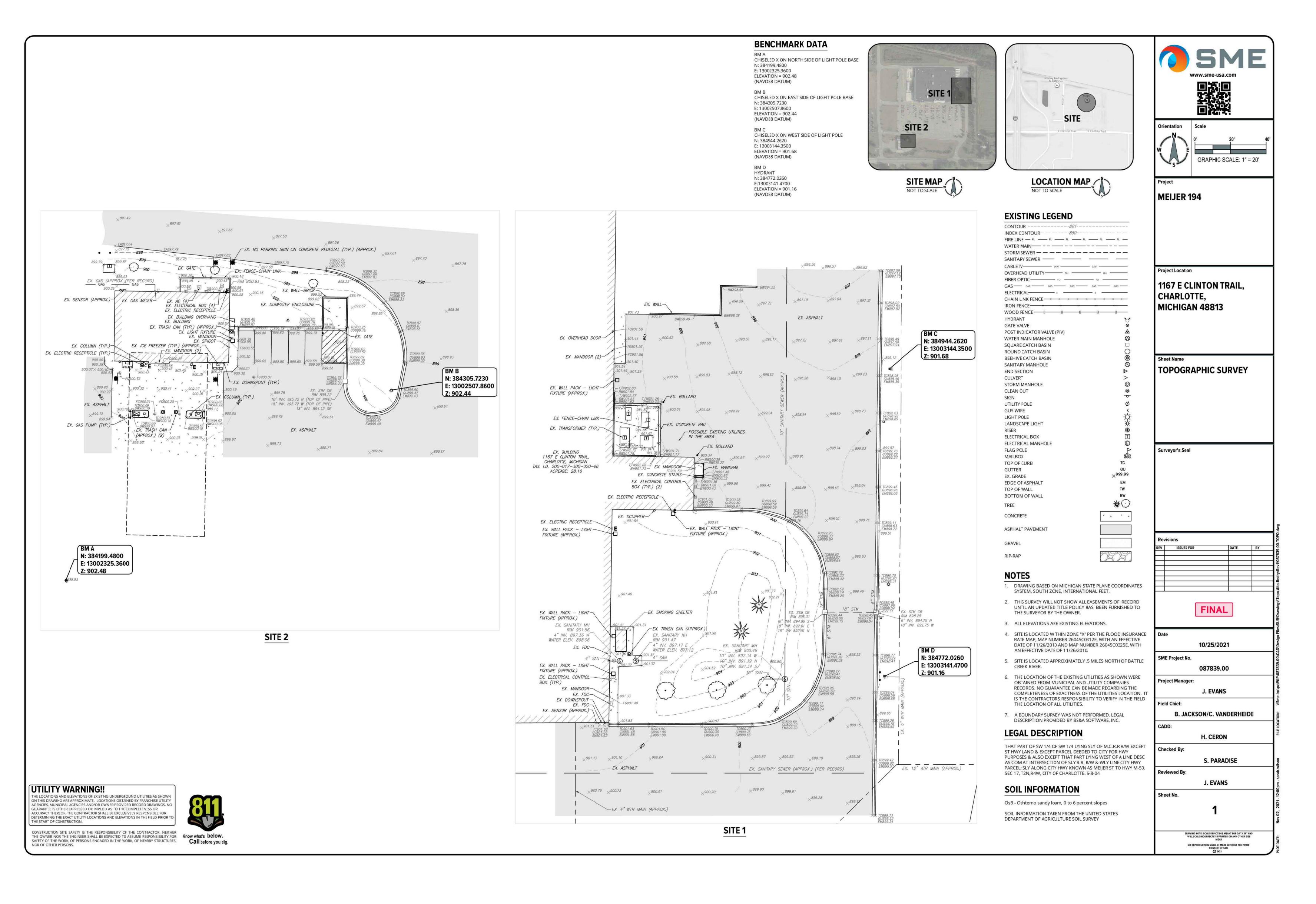
2022 STORE REFRESH

Description

Issue Date 01/21/2022 2101804

Issue for Bids, Permits and Construction

Overall Site Plan





111 E. Wayne St., Suite 555, Fort Wayne, Indiana 46802 260-424-9080 ElevatusArchitecture.com

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ROCKFORD

CONSTRUCTION

OWNER'S CONSTRUCTION MANAGER

meije

Store 194 Addition & Renovation

MEIJER PROJECT #: CP-22-00194

1167 E Clinton Trail, Charlotte, MI 48813

2022 STORE REFRESH

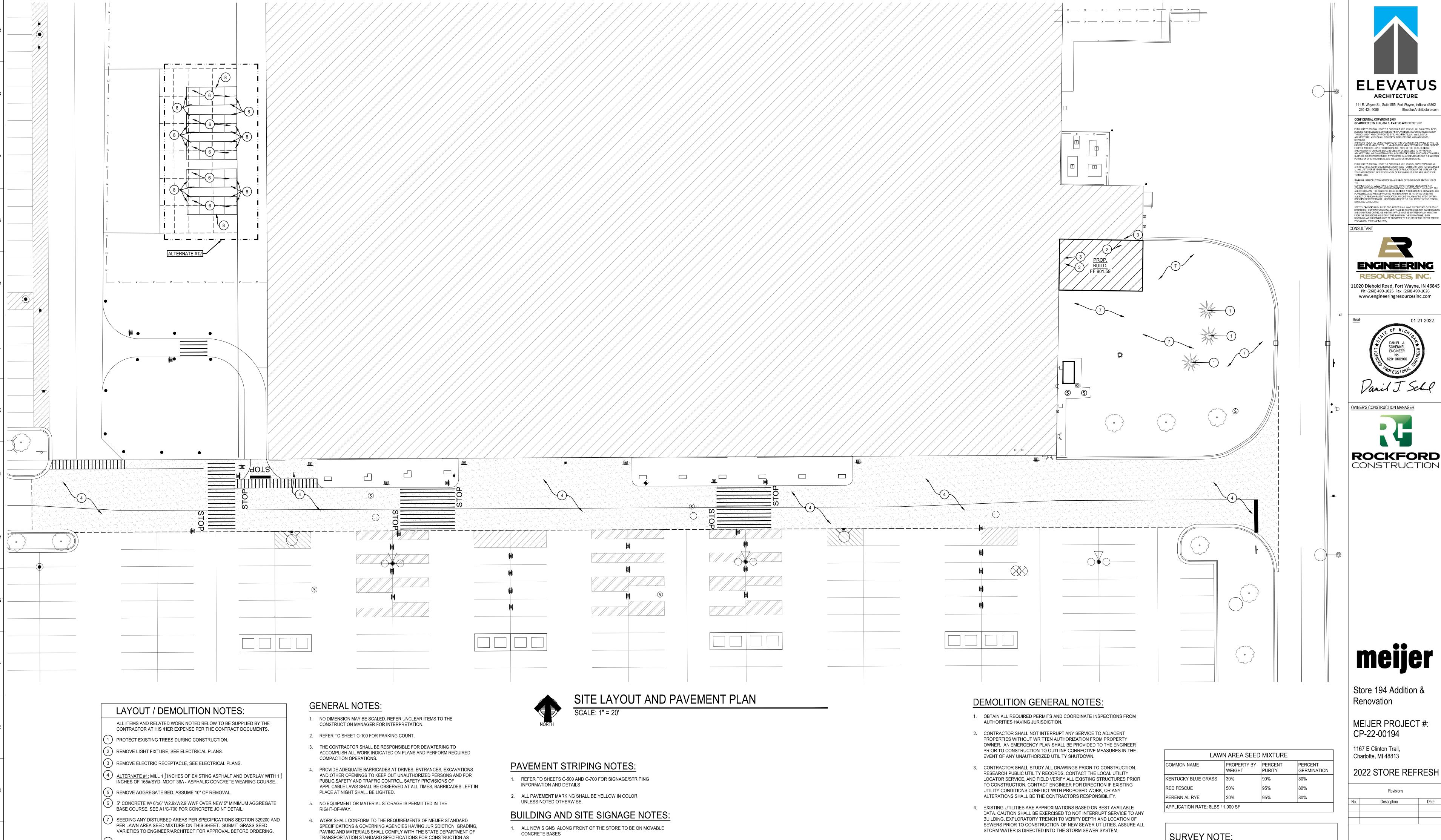
Revisions

No. Description Date

Issue for Bids, Permits and Construction

Topographic Survey

C-100E



LOCAL UTILITY LOCATING AGENCY:

1. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND

2. EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY

CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF

ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE

STRUCTURES AND PLAN COMPUTATIONS.

LOCATING AGENCY AT 811.

GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE

NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE

OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CALL LOCAL UTILITY

UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE

(8) DOWELED BUTT JOINT PER DETAIL A4/C-700.

PROPOSED LEGEND:

LAYOUT LEGEND:

CONCRETE WEARING COURSE.

ALTERNATE #1: MILL $1\frac{1}{2}$ INCHES OF EXISTING ASPHALT AND

CONCRETE SCORE JOINTS

OVERLAY WITH 1 ½ INCHES OF 165#/SYD. MDOT 36A - ASPHALIC

WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF

DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL

7. EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON

A NEW 4" COMPACTED AGGREGATE BASE COURSE. UNLESS NOTED

8. AGGREGATE BASE FOR CONCRETE ADJACENT TO BUILDING SHALL BE AS

9. SEE ARCHITECTURAL PLANS FOR TREATMENT OF CONCRETE CURB AGAINST

10. PROVIDE SHOP DRAWING SUBMITTAL FOR SCORING JOINT & EXPANSION

LOCATIONS OF EXISTING SCORE JOINTS FOR REFERENCE.

JOINT LAYOUT FOR ALL CONCRETE WALKS, DRIVES, & SLABS. INCLUDE

OTHERWISE ON THE DRAWINGS.

SPECIFIED IN SECTION 312306.

- 5. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION REQUIRED BY UTILITY OWNERS TO CONSTRUCT PROJECT.
- 6. PROVIDE RECORD DRAWINGS TO THE OWNER FOR BELOW GRADE IMPROVEMENTS. INCLUDE: MATERIALS OF CONSTRUCTION, SIZE, ELEVATIONS, AND LOCATION DESCRIPTIONS IN THE RECORD.
- 7. CONTRACTOR SHALL LOCATE ALL PRIVATE UTILITIES NOT COVERED BY THE PUBLIC LOCATING SERVICE.
- 8. ADJUST ALL EXISTING MANHOLES, VALVES, HYDRANTS, HANDHOLES THAT ARE WITHIN THE PROJECT LIMITS TO PROPOSED GRADES.
- 9. CONTRACTOR SHALL SUPPORT ALL EXISTING UTILITIES DURING
- CONSTRUCTION OF ADJACENT WORK.
- 10. SEE SITE SURVEY FOR EXISTING CONDITIONS.
- 11. COORDINATE ALL DEMOLITION WORK WITH OWNER.
- 12. CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES, TAPPING FEES, INSPECTION FEES, ETC.
- 13. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.

SURVEY NOTE:

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SITE BENCHMARK PROVIDED FROM TOPOGRAPHIC SURVEY BY SME.



ARCHITECTURE

Store 194 Addition &

MEIJER PROJECT #: CP-22-00194

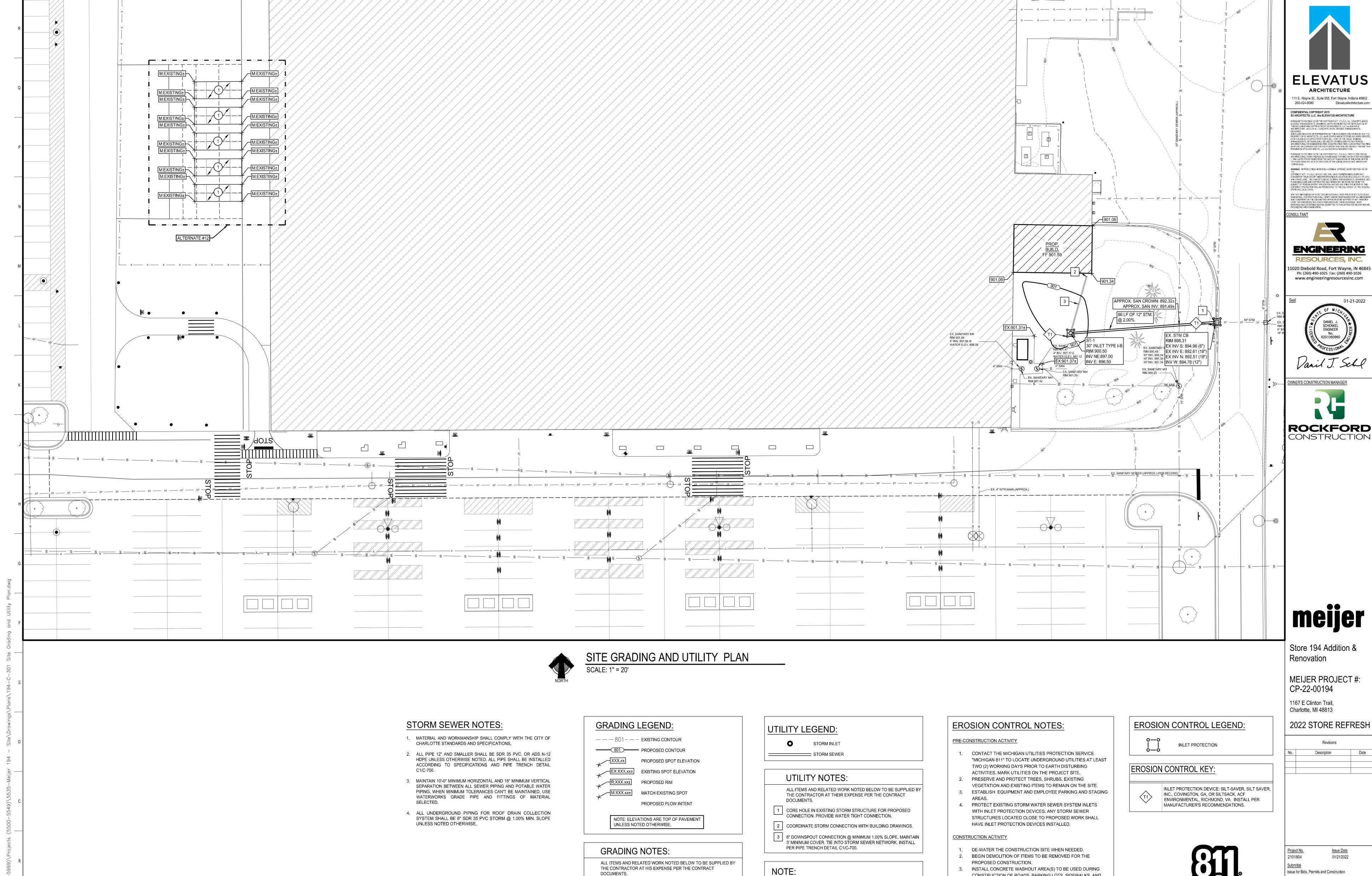
1167 E Clinton Trail,

2022 STORE REFRESH

Description

Issue Date 01/21/2022 2101804 Issue for Bids, Permits and Construction

Site Layout and Pavement Plan



SURVEY NOT PROVIDED IN GARDEN CENTER AREA. PRIOR TO

CONSTRUCTION, CONTRACTOR TO ASSURE POSITIVE DRAINAGE CAN

CONTACT ENGINEERING RESOURCES FOR DESIGN OF STORM INLETS.

P) GENERAL NOTE (NOT LABELED ON PLAN). SURVEY PROVIDED DURING THE DESIGN PHASE DID NOT INCLUDE ALL EXISTING UTILITIES.

BE ATTAINED AWAY FROM BUILDING AND ACROSS PAVEMENT. IF

POSITIVE DRAINAGE CANNOT BE ATTAINED, CONTRACTOR TO

CONTRACTOR IS TO FIELD VERIFY AND ADJUST ANY UTILITY

CASTINGS WITHIN PROJECT LIMITS TO PROPOSED GRADE.

ALL UTILITIES SHOWN ARE APPROXIMATE LOCATION FROM FIELD DATA,

DESIGN DRAWINGS, AND AVAILABLE INFORMATION. THEY SHOULD NOT

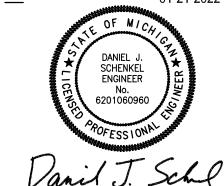
BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE

ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.

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CONSTRUCTION OF ROADS, PARKING LOTS, SIDEWALKS, AND BUILDINGS. CONTRACTOR TO USE PREFABRICATED PORTABLE

4. PLACE INLET PROTECTION DEVICES AT ALL INLETS SPECIFIED

ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

5. CONSTRUCT UTILITIES, PARKING LOTS, SIDEWALKS AND

SUMP CAPACITY OF 2 CU YDS.

ON THE SITE GRADING PLAN.

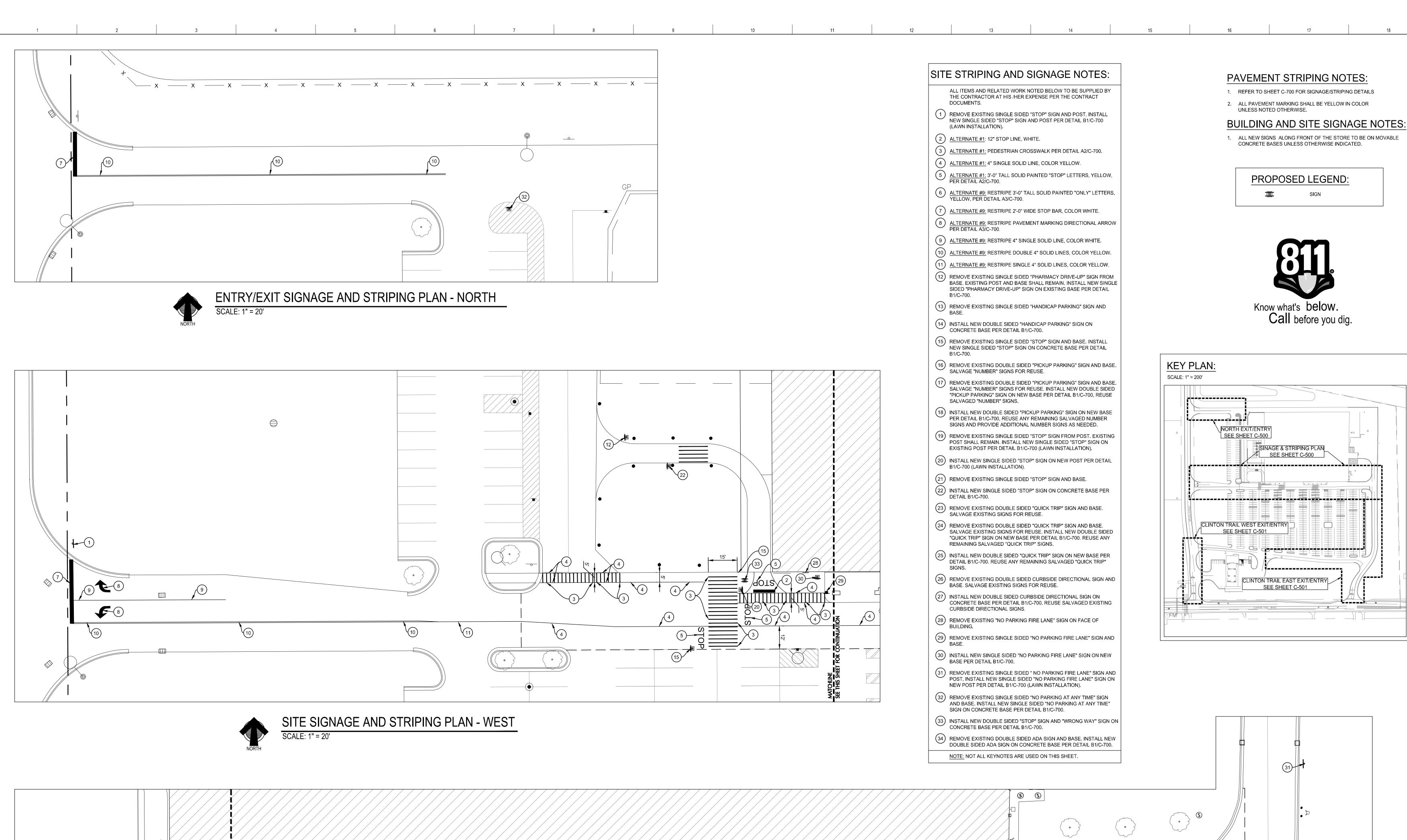
BUILDING(S).

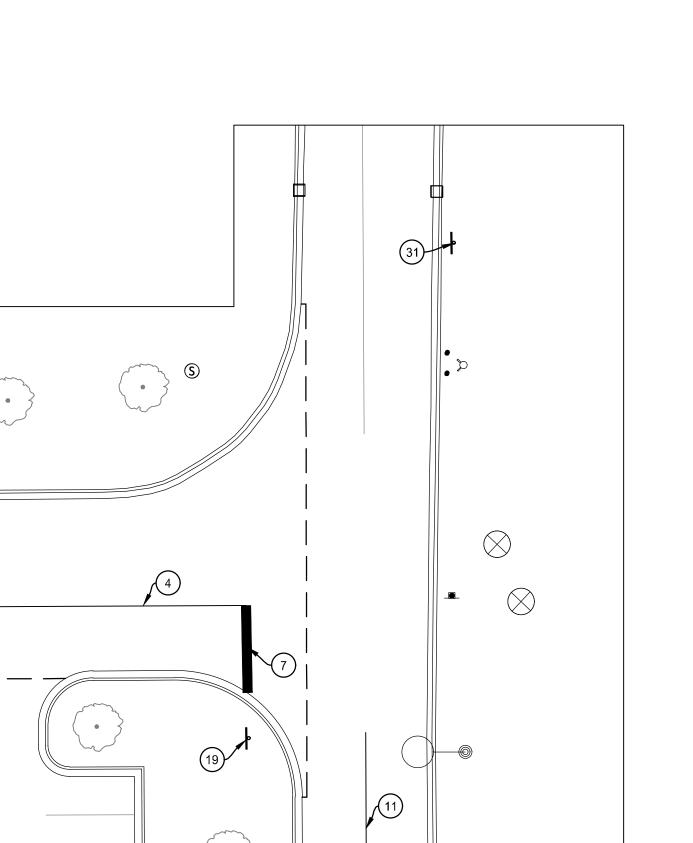
CONCRETE WASHOUT SYSTEMS / CONTAINERS WITH A MINIMUM

REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES

Issue for Bids, Permits and Construction

Site Grading and Utility Plan







ELEVATUS ARCHITECTURE

111 E. Wayne St., Suite 555, Fort Wayne, Indiana 46802

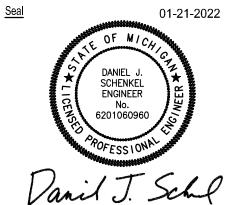
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OWNER'S CONSTRUCTION MANAGER



Renovation

Store 194 Addition &

MEIJER PROJECT #: CP-22-00194 1167 E Clinton Trail,

Charlotte, MI 48813 2022 STORE REFRESH

Issue Date 01/21/2022 Issue for Bids, Permits and Construction

Site Signage and Striping Plans

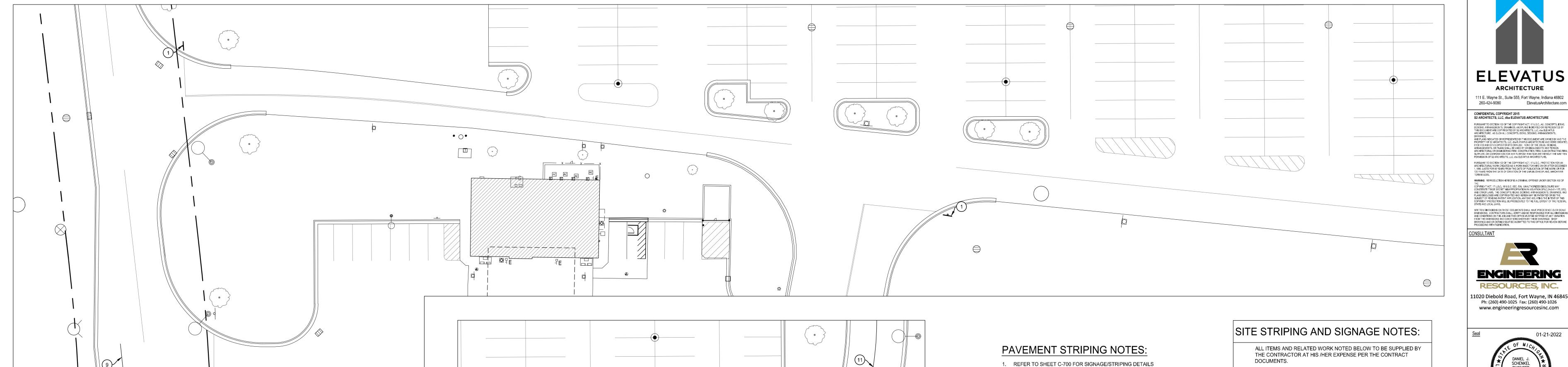
C-500

SITE SIGNAGE AND STRIPING PLAN - EAST

17

18

18



- ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.

BUILDING AND SITE SIGNAGE NOTES:

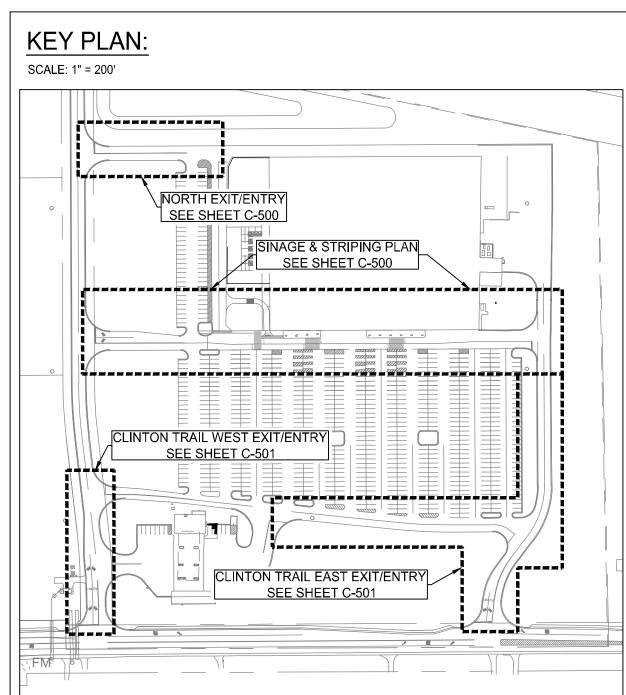
1. ALL NEW SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES UNLESS OTHERWISE INDICATED.

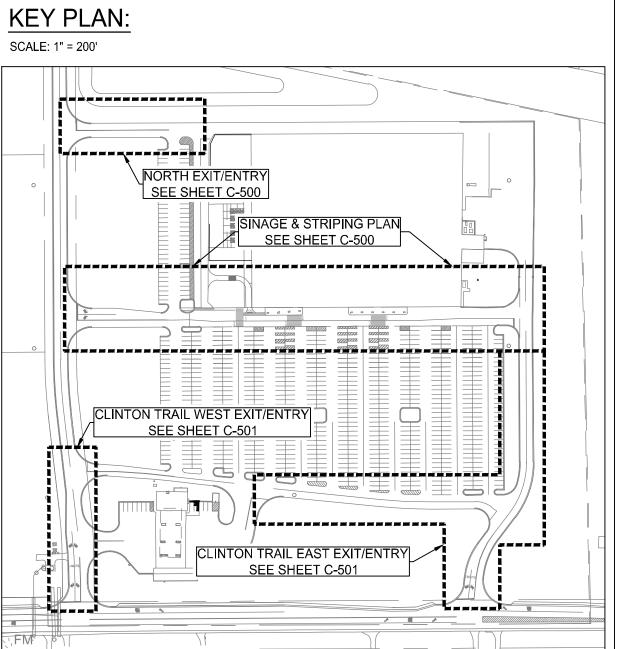
PROPOSED LEGEND:



Know what's below.

Call before you dig.





- (1) REMOVE EXISTING SINGLE SIDED "STOP" SIGN AND POST. INSTALL
- NEW SINGLE SIDED "STOP" SIGN AND POST PER DETAIL B1/C-700 (LAWN INSTALLATION).
- 2) ALTERNATE #1: 12" STOP LINE, WHITE.
- (3) <u>ALTERNATE #1:</u> PEDESTRIAN CROSSWALK PER DETAIL A2/C-700.
- (4) <u>ALTERNATE #1:</u> 4" SINGLE SOLID LINE, COLOR YELLOW.
- 5 ALTERNATE #1: 3'-0" TALL SOLID PAINTED "STOP" LETTERS, YELLOW, PER DETAIL A2/C-700.
- 6 ALTERNATE #9: RESTRIPE 3'-0" TALL SOLID PAINTED "ONLY" LETTERS, YELLOW, PER DETAIL A3/C-700.
- 7) ALTERNATE #9: RESTRIPE 2'-0" WIDE STOP BAR, COLOR WHITE.
- 8 <u>ALTERNATE #9:</u> RESTRIPE PAVEMENT MARKING DIRECTIONAL ARROW PER DETAIL A3/C-700.
- 9) ALTERNATE #9: RESTRIPE 4" SINGLE SOLID LINE, COLOR WHITE.
- 10) ALTERNATE #9: RESTRIPE DOUBLE 4" SOLID LINES, COLOR YELLOW.
- (11) <u>ALTERNATE #9:</u> RESTRIPE SINGLE 4" SOLID LINES, COLOR YELLOW. 12) REMOVE EXISTING SINGLE SIDED "PHARMACY DRIVE-UP" SIGN FROM BASE. EXISTING POST AND BASE SHALL REMAIN. INSTALL NEW SINGLE SIDED "PHARMACY DRIVE-UP" SIGN ON EXISTING BASE PER DETAIL
- 13 REMOVE EXISTING SINGLE SIDED "HANDICAP PARKING" SIGN AND
- 14) INSTALL NEW DOUBLE SIDED "HANDICAP PARKING" SIGN ON CONCRETE BASE PER DETAIL B1/C-700.
- (15) REMOVE EXISTING SINGLE SIDED "STOP" SIGN AND BASE. INSTALL NEW SINGLE SIDED "STOP" SIGN ON CONCRETE BASE PER DETAIL
- REMOVE EXISTING DOUBLE SIDED "PICKUP PARKING" SIGN AND BASE. SALVAGE "NUMBER" SIGNS FOR REUSE.
- REMOVE EXISTING DOUBLE SIDED "PICKUP PARKING" SIGN AND BASE. SALVAGE "NUMBER" SIGNS FOR REUSE. INSTALL NEW DOUBLE SIDED "PICKUP PARKING" SIGN ON NEW BASE PER DETAIL B1/C-700, REUSE SALVAGED "NUMBER" SIGNS.
- (18) INSTALL NEW DOUBLE SIDED "PICKUP PARKING" SIGN ON NEW BASE PER DETAIL B1/C-700, REUSE ANY REMAINING SALVAGED NUMBER SIGNS AND PROVIDE ADDITIONAL NUMBER SIGNS AS NEEDED.
- (19) REMOVE EXISTING SINGLE SIDED "STOP" SIGN FROM POST. EXISTING POST SHALL REMAIN. INSTALL NEW SINGLE SIDED "STOP" SIGN ON EXISTING POST PER DETAIL B1/C-700 (LAWN INSTALLATION).
- 20) INSTALL NEW SINGLE SIDED "STOP" SIGN ON NEW POST PER DETAIL B1/C-700 (LAWN INSTALLATION).
- (21) REMOVE EXISTING SINGLE SIDED "STOP" SIGN AND BASE.
- (22) INSTALL NEW SINGLE SIDED "STOP" SIGN ON CONCRETE BASE PER
- (23) REMOVE EXISTING DOUBLE SIDED "QUICK TRIP" SIGN AND BASE. SALVAGE EXISTING SIGNS FOR REUSE.
- REMOVE EXISTING DOUBLE SIDED "QUICK TRIP" SIGN AND BASE. SALVAGE EXISTING SIGNS FOR REUSE. INSTALL NEW DOUBLE SIDED "QUICK TRIP" SIGN ON NEW BASE PER DETAIL B1/C-700. REUSE ANY REMAINING SALVAGED "QUICK TRIP" SIGNS.
- 25) INSTALL NEW DOUBLE SIDED "QUICK TRIP" SIGN ON NEW BASE PER DETAIL B1/C-700. REUSE ANY REMAINING SALVAGED "QUICK TRIP"
- REMOVE EXISTING DOUBLE SIDED CURBSIDE DIRECTIONAL SIGN AND BASE. SALVAGE EXISTING SIGNS FOR REUSE.
- 27) INSTALL NEW DOUBLE SIDED CURBSIDE DIRECTIONAL SIGN ON CONCRETE BASE PER DETAIL B1/C-700. REUSE SALVAGED EXISTING
- CURBSIDE DIRECTIONAL SIGNS. 28) REMOVE EXISTING "NO PARKING FIRE LANE" SIGN ON FACE OF
- 29 REMOVE EXISTING SINGLE SIDED "NO PARKING FIRE LANE" SIGN AND
- (30) INSTALL NEW SINGLE SIDED "NO PARKING FIRE LANE" SIGN ON NEW BASE PER DETAIL B1/C-700.
- (31) REMOVE EXISTING SINGLE SIDED "NO PARKING FIRE LANE" SIGN AND POST. INSTALL NEW SINGLE SIDED "NO PARKING FIRE LANE" SIGN ON NEW POST PER DETAIL B1/C-700 (LAWN INSTALLATION).
- (32) REMOVE EXISTING SINGLE SIDED "NO PARKING AT ANY TIME" SIGN AND BASE. INSTALL NEW SINGLE SIDED "NO PARKING AT ANY TIME" SIGN ON CONCRETE BASE PER DETAIL B1/C-700.
- (33) INSTALL NEW DOUBLE SIDED "STOP" SIGN AND "WRONG WAY" SIGN ON CONCRETE BASE PER DETAIL B1/C-700.
- (34) REMOVE EXISTING DOUBLE SIDED ADA SIGN AND BASE. INSTALL NEW DOUBLE SIDED ADA SIGN ON CONCRETE BASE PER DETAIL B1/C-700. NOTE: NOT ALL KEYNOTES ARE USED ON THIS SHEET.



ARCHITECTURE 111 E. Wayne St., Suite 555, Fort Wayne, Indiana 46802

ENGINEERING

Ph: (260) 490-1025 Fax: (260) 490-1026 www.engineeringresourcesinc.com

ROCKFORD

CONSTRUCTION

260-424-9080

Store 194 Addition & Renovation

MEIJER PROJECT #: CP-22-00194

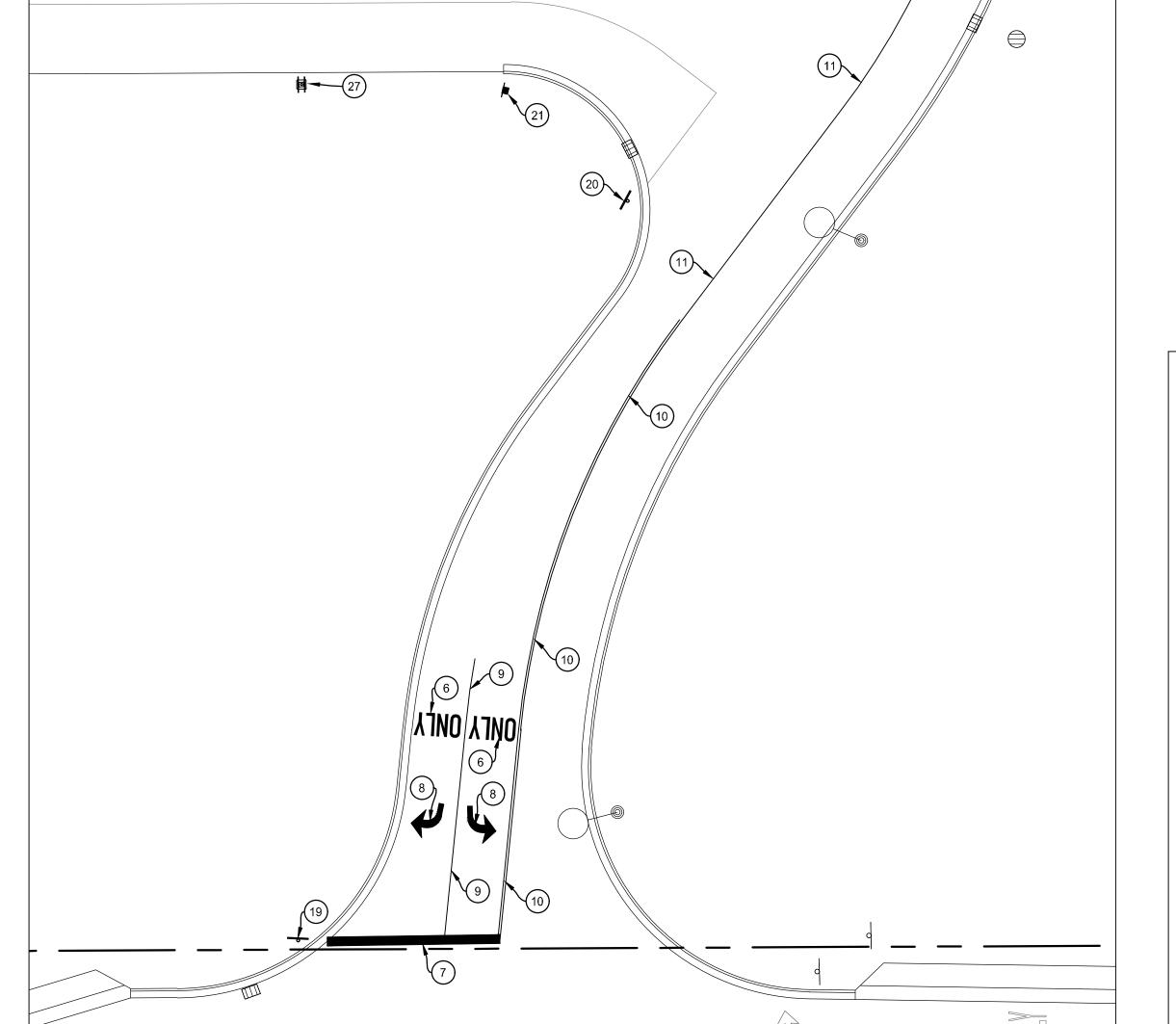
1167 E Clinton Trail, Charlotte, MI 48813

2022 STORE REFRESH

Description

Project No. Issue Date 2101804 01/21/2022 Issue for Bids, Permits and Construction

Site Signage and Striping Plans

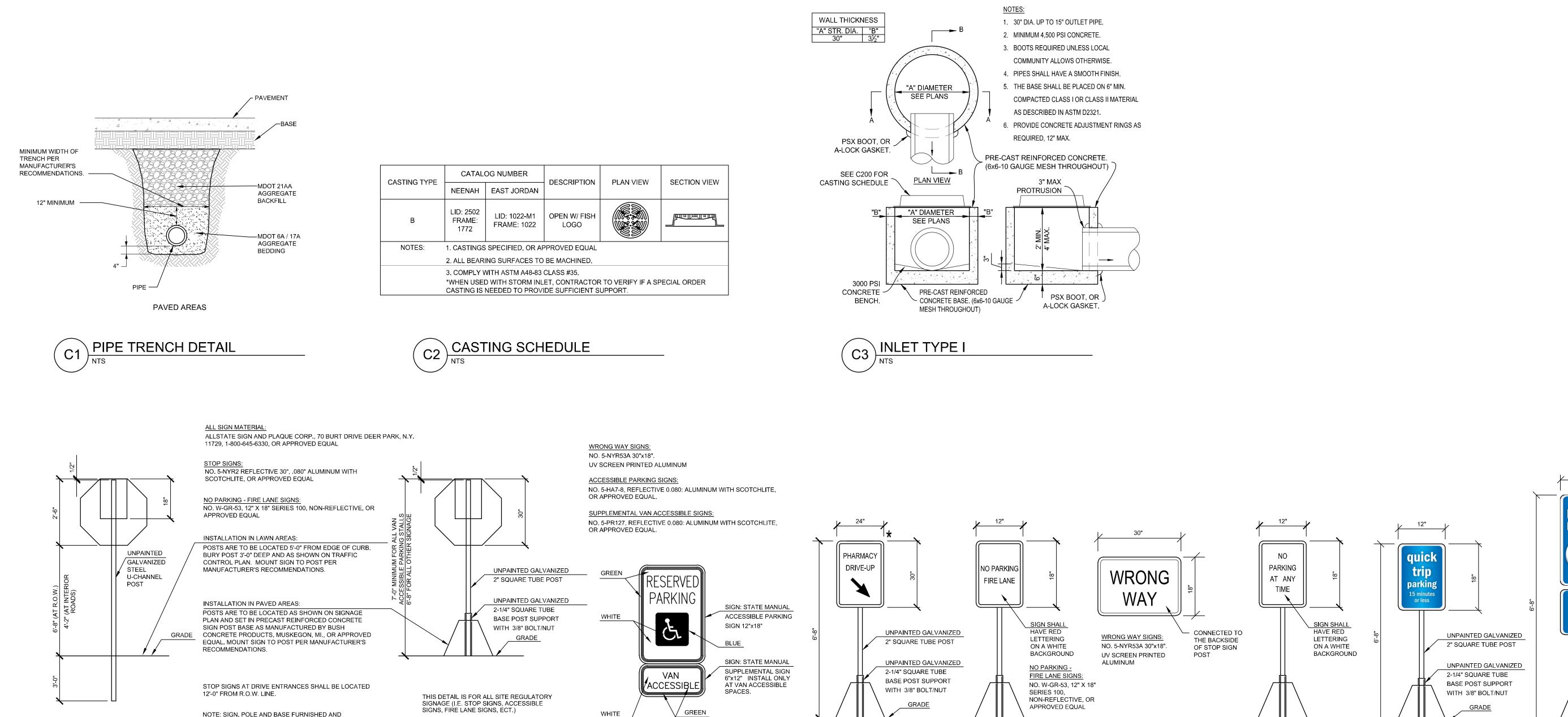


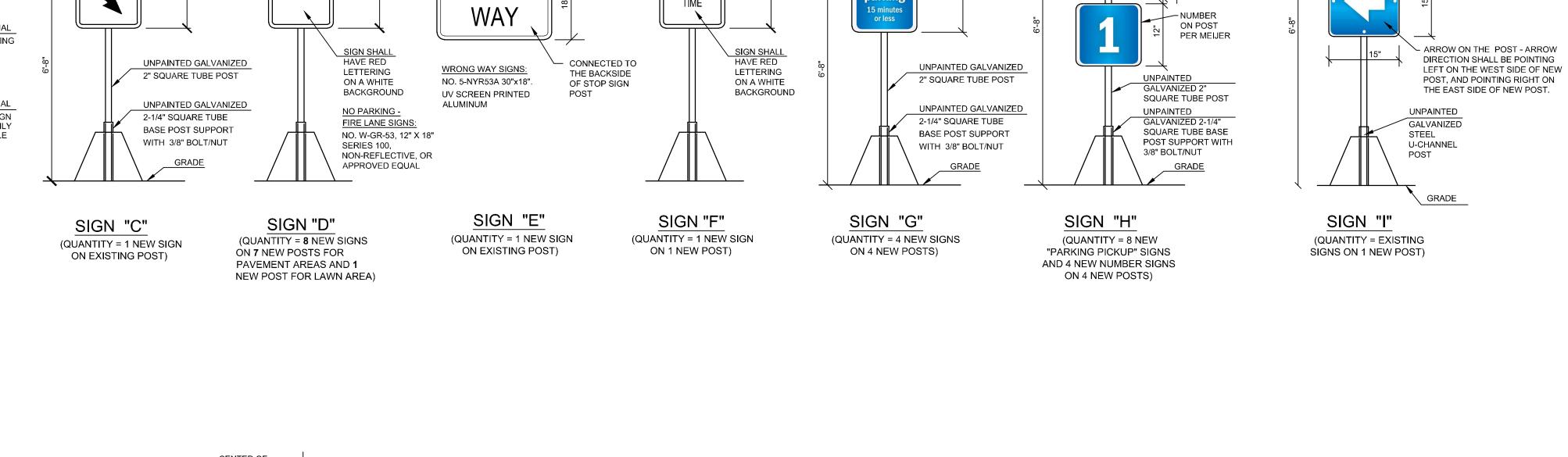


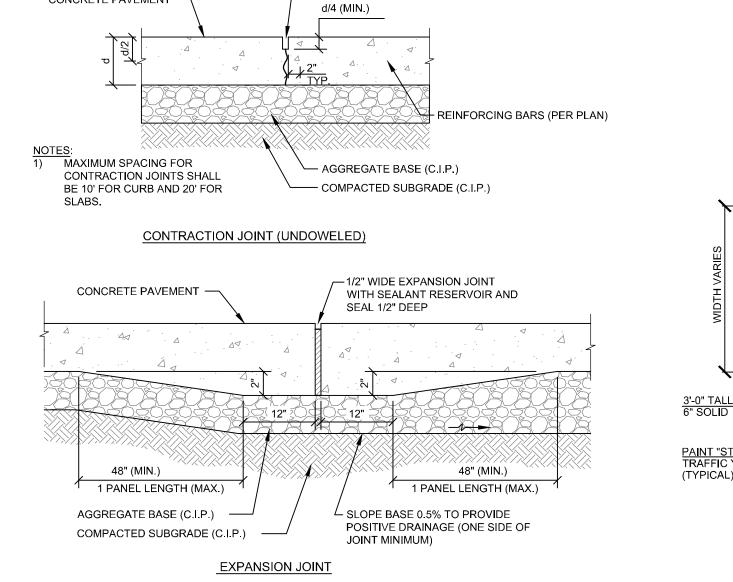
ONFY ONFY

CLINTON TRAIL ENTRY/EXIT SIGNAGE AND STRIPING PLAN - WEST

CLINTON TRAIL ENTRY/EXIT SIGNAGE AND STRIPING PLAN - EAST







CONCRETE JOINT DETAILS

SPACE 1/8" JOINTS IN ACCORDANCE

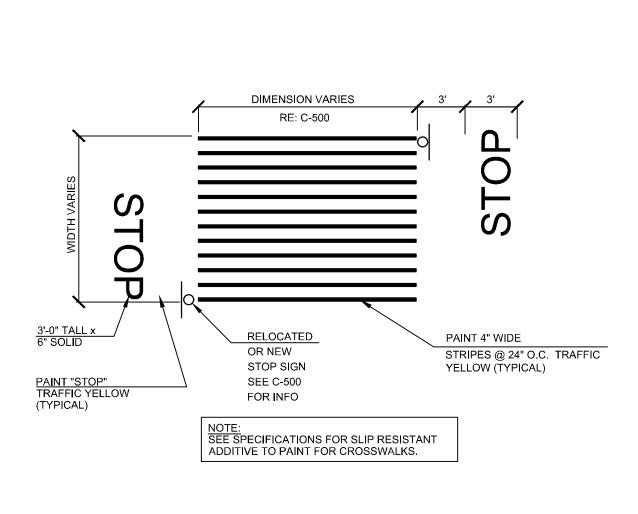
WITH PLAN AND AS NOTED

INSTALLED BY CONTRACTOR UNLESS OTHERWISE

STOP SIGNS SHALL BE PLACED ABOVE "TRUCK ROUTE"

LAWN AREAS

CONCRETE PAVEMENT -



CROSSWALK STRIPING PLAN

SIGN "B"

(QUANTITY = 18 NEW SIGNS

ON 9 NEW POSTS)

TRAFFIC CONTROL SIGNAGE

PAVED AREAS

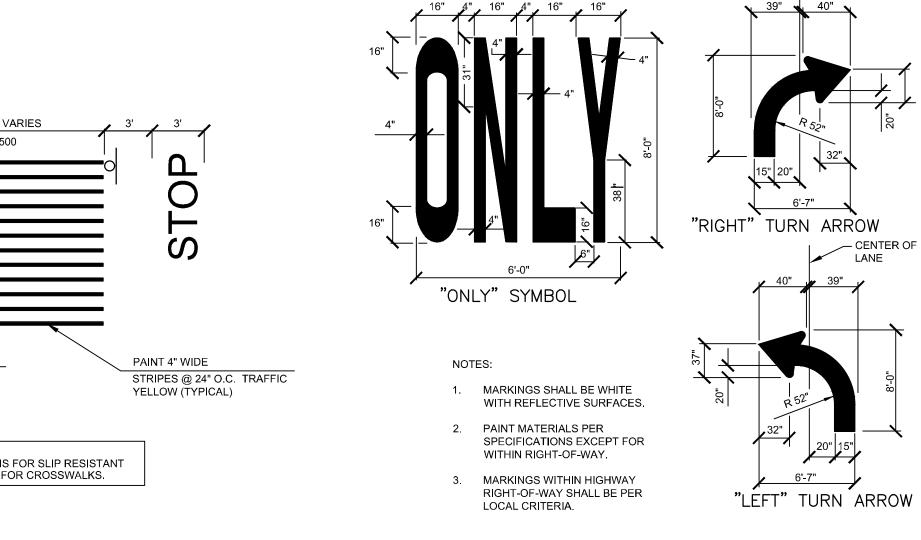
SIGN "A" (STOP)

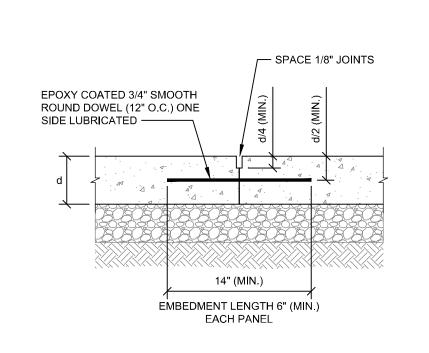
ON 10 NEW POSTS FOR

PAVEMENT AREAS AND 4 NEW

POSTS FOR LAWN AREA)

(QUANTITY = 16 NEW SIGNS





DIRECTIONAL ARROWS

DOWELED BUTT JOINT DETAIL



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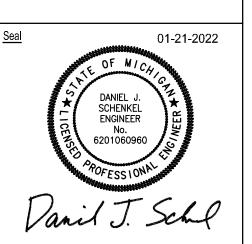
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OWNER'S CONSTRUCTION MANAGER ROCKFORD CONSTRUCTION

Store 194 Addition & Renovation

MEIJER PROJECT #: CP-22-00194 1167 E Clinton Trail,

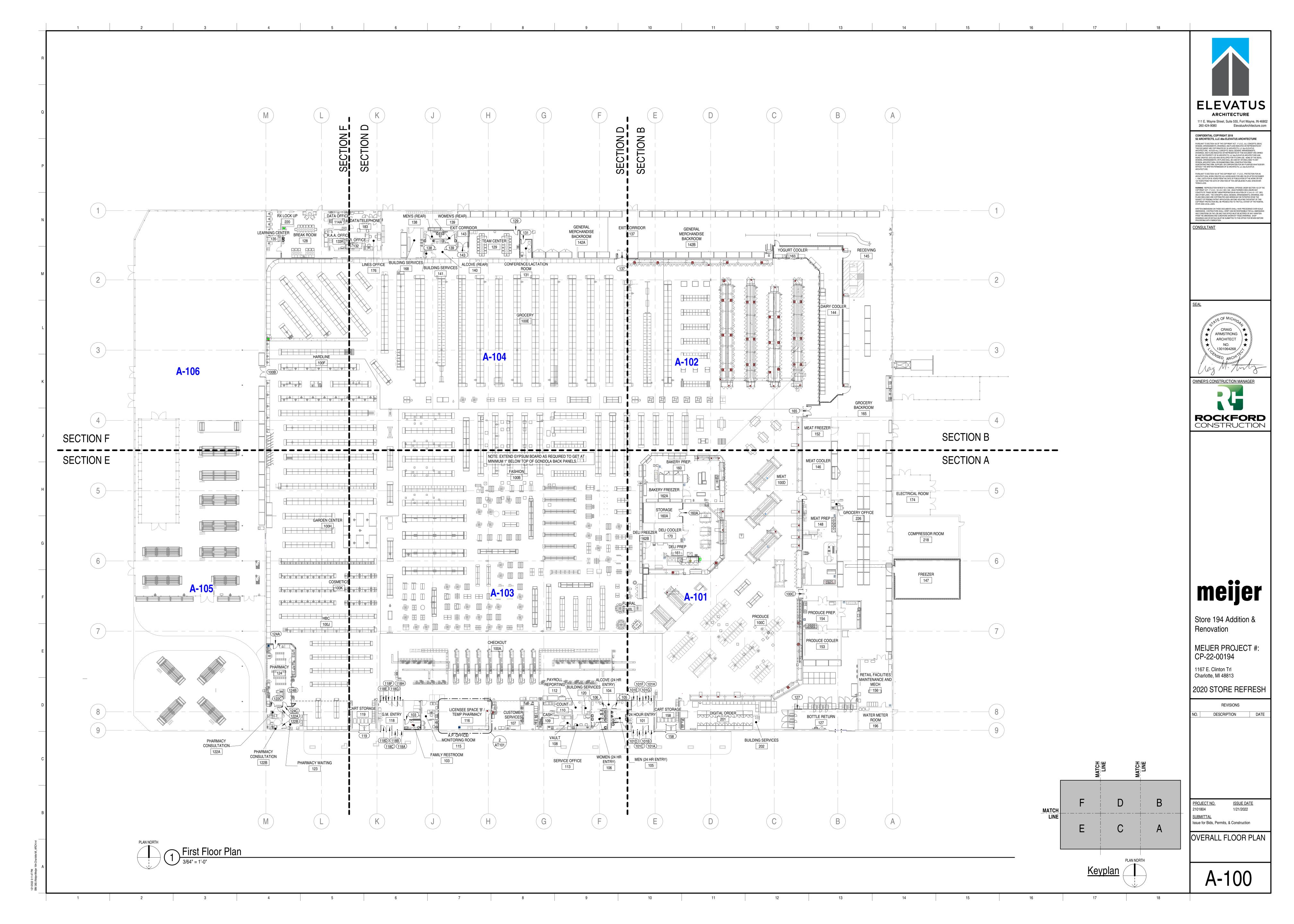
Charlotte, MI 48813

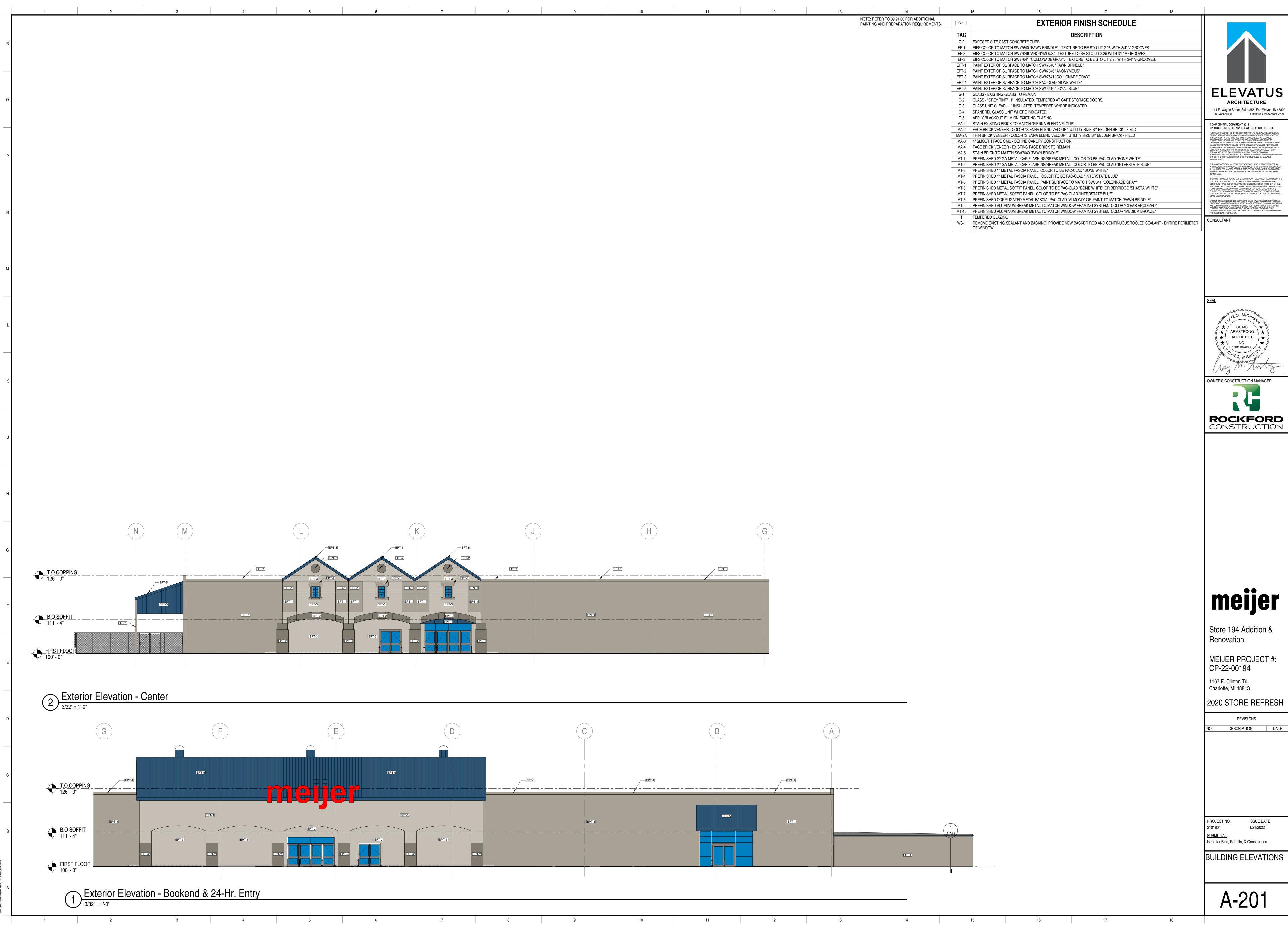
2022 STORE REFRESH

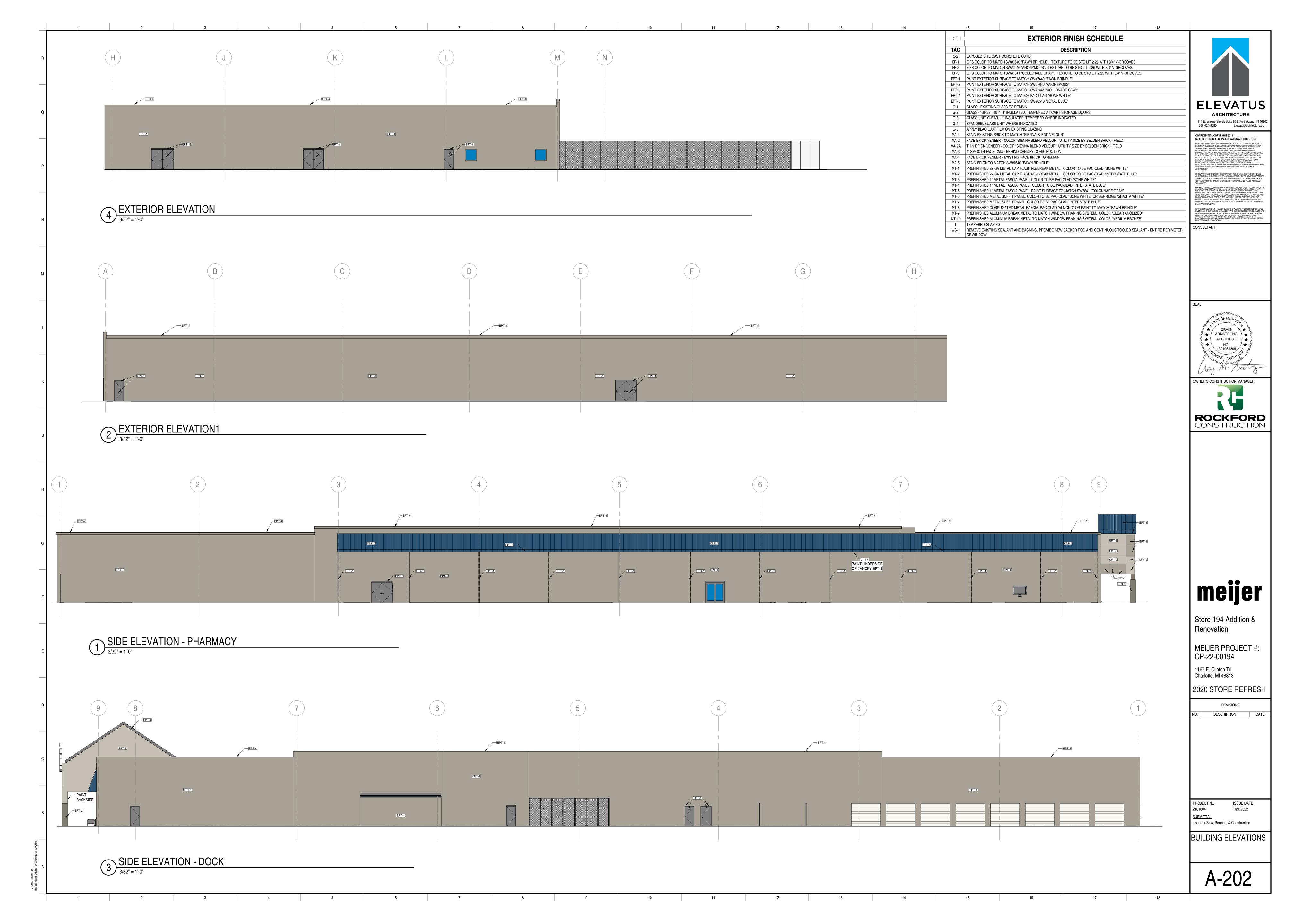
Revisions Description

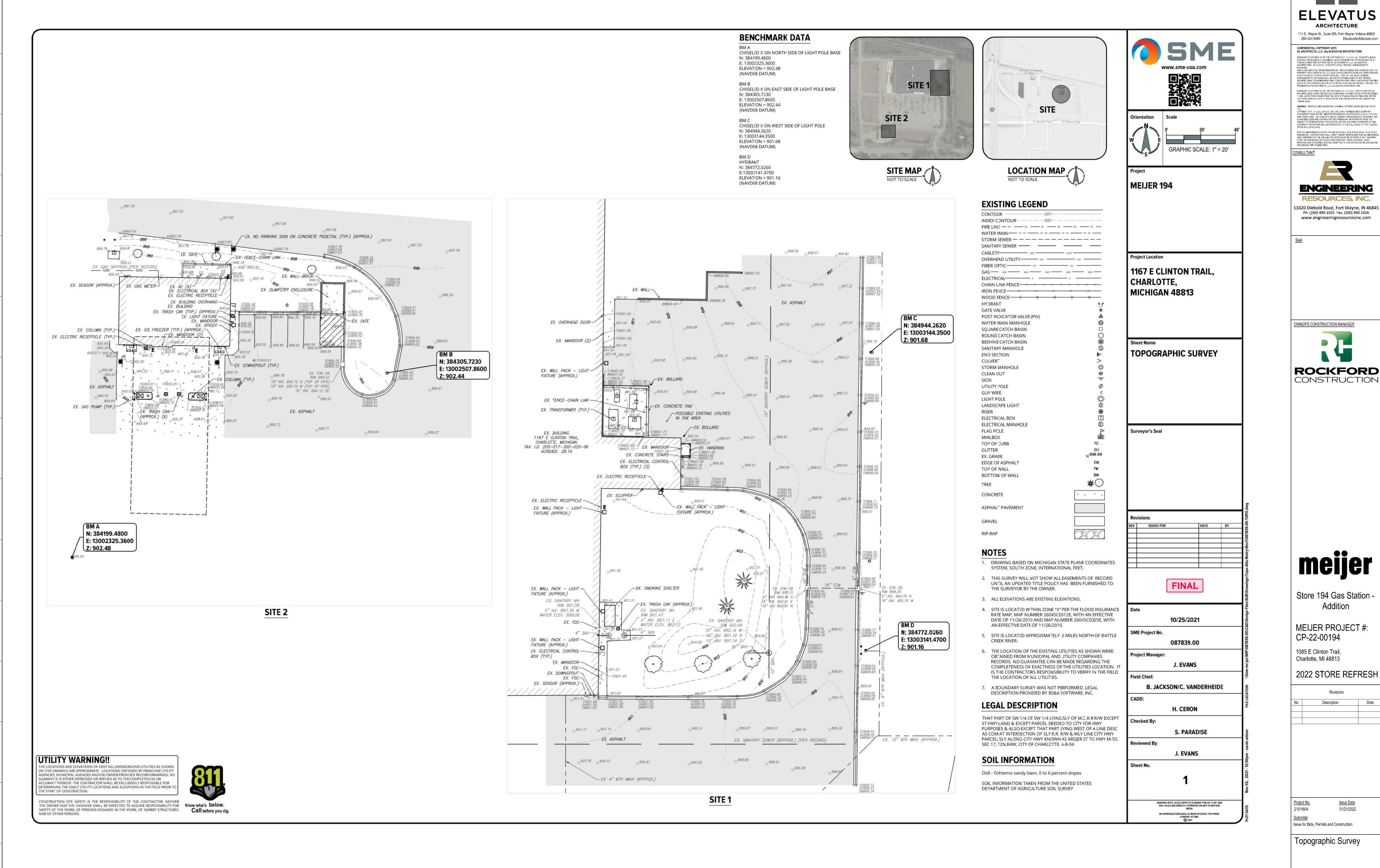
Issue Date 01/21/2022 Issue for Bids, Permits and Construction

Site Details









ELEVATUS ARCHITECTURE

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ENGINEERING 11020 Diebold Road, Fort Wayne, IN 46845

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OWNER'S CONSTRUCTION MANAGER

Store 194 Gas Station -

Addition

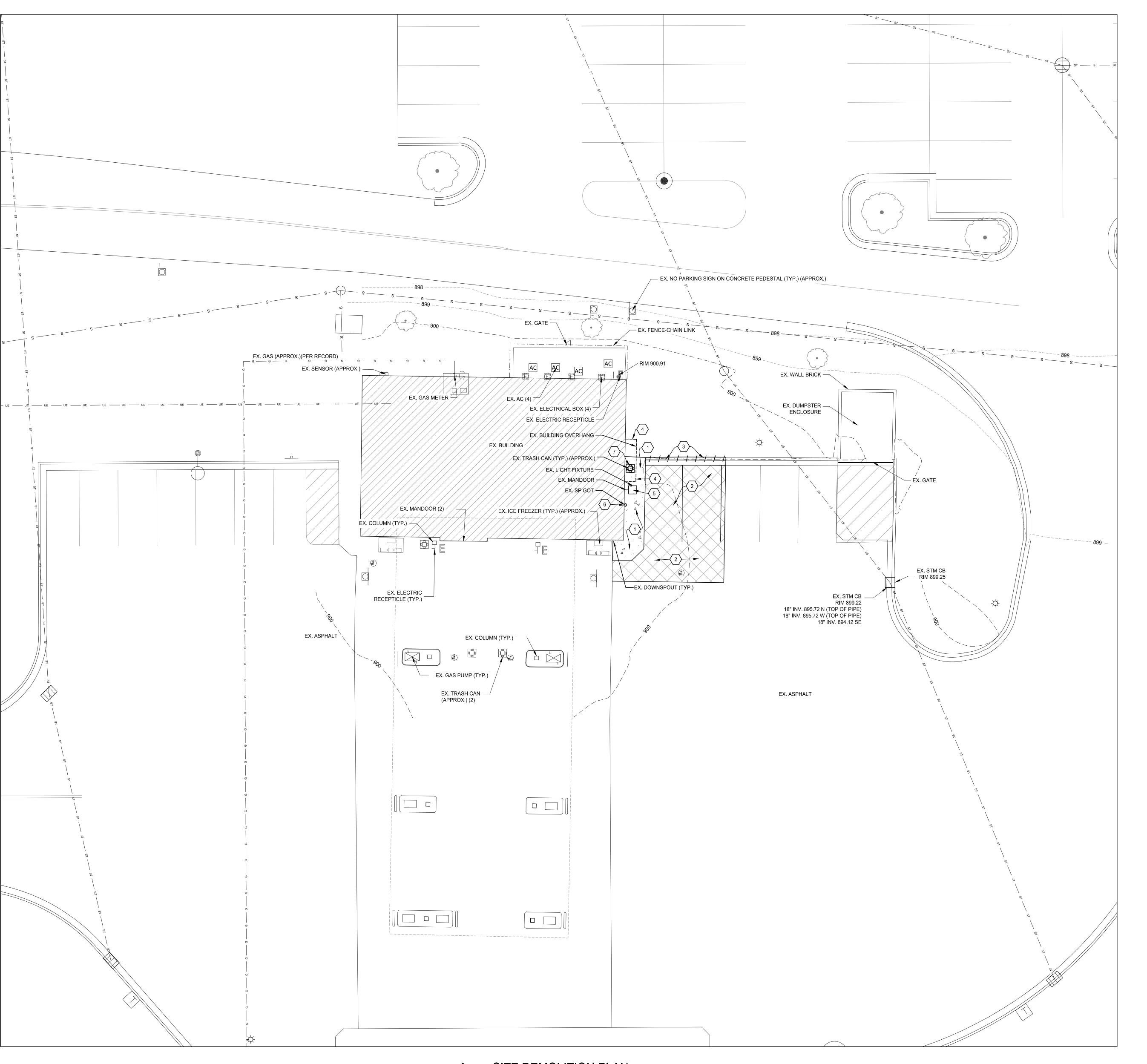
MEIJER PROJECT #: CP-22-00194 1085 E Clinton Trail,

Charlotte, MI 48813

2022 STORE REFRESH Revisions Description

2101804 01/21/2022 Issue for Bids, Permits and Construction

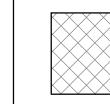
Topographic Survey



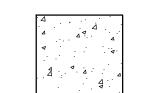
DEMOLITION NOTES:

- SAWCUT AND REMOVE CONCRETE SIDEWALK TO NEAREST JOINT, INCLUDING BASE.
- SAWCUT AND REMOVE ASPHALT PAVEMENT, INCLUDING
- SAWCUT AND REMOVE CONCRETE CURB AND GUTTER.
- REMOVE EXISTING BUILDING CANOPY, SEE ARCHITECTURAL
- 5 REMOVE EXISTING LIGHT FIXTURE, SEE ELECTRICAL PLANS.
- REMOVE EXISTING SPIGOT, SEE PLUMBING PLANS.
- REMOVE EXISTING TRASH RECEPTACLE AND RETURN TO

DEMOLITION LEGEND:



SAWCUT AND REMOVE ASPHALT PAVEMENT.



SAWCUT AND REMOVE CONCRETE SIDEWALK TO NEAREST JOINT.

LOCAL UTILITY LOCATING AGENCY:

- 1. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CALL LOCAL UTILITY LOCATING AGENCY AT 811.
- 2. EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

SURVEY NOTE:

EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY SME, PROJECT #087839.00 DATED OCTOBER 25, 2021. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER,

SITE BENCHMARK PROVIDED FROM TOPOGRAPHIC SURVEY BY SME.

DEMOLITION GENERAL NOTES:

- 1. OBTAIN ALL REQUIRED PERMITS AND COORDINATE INSPECTIONS FROM AUTHORITIES HAVING JURISDICTION.
- 2. CONTRACTOR SHALL NOT INTERRUPT ANY SERVICE TO ADJACENT PROPERTIES WITHOUT WRITTEN AUTHORIZATION FROM PROPERTY OWNER. AN EMERGENCY PLAN SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION TO OUTLINE CORRECTIVE MEASURES IN THE EVENT OF ANY UNAUTHORIZED UTILITY SHUTDOWN.
- 3. CONTRACTOR SHALL STUDY ALL DRAWINGS PRIOR TO CONSTRUCTION. RESEARCH PUBLIC UTILITY RECORDS, CONTACT THE LOCAL UTILITY LOCATOR SERVICE, AND FIELD VERIFY ALL EXISTING STRUCTURES PRIOR TO CONSTRUCTION. CONTACT ENGINEER FOR DIRECTION IF EXISTING UTILITY CONDITIONS CONFLICT WITH PROPOSED WORK, OR ANY ALTERATIONS SHALL BE THE CONTRACTORS RESPONSIBILITY.
- 4. EXISTING UTILITIES ARE APPROXIMATIONS BASED ON BEST AVAILABLE DATA. CAUTION SHALL BE EXERCISED TO NOT INTERRUPT SERVICE TO ANY BUILDING. EXPLORATORY TRENCH TO VERIFY DEPTH AND LOCATION OF SEWERS PRIOR TO CONSTRUCTION OF NEW SEWER UTILITIES. ASSURE ALL STORM WATER IS DIRECTED INTO THE STORM SEWER SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION REQUIRED BY UTILITY OWNERS TO CONSTRUCT PROJECT.
- 6. PROVIDE RECORD DRAWINGS TO THE OWNER FOR BELOW GRADE IMPROVEMENTS. INCLUDE: MATERIALS OF CONSTRUCTION, SIZE, ELEVATIONS, AND LOCATION DESCRIPTIONS IN THE RECORD.
- 7. CONTRACTOR SHALL LOCATE ALL PRIVATE UTILITIES NOT COVERED BY THE PUBLIC LOCATING SERVICE.
- 8. ADJUST ALL EXISTING MANHOLES, VALVES, HYDRANTS, HANDHOLES THAT ARE WITHIN THE PROJECT LIMITS TO PROPOSED GRADES.
- CONTRACTOR SHALL SUPPORT ALL EXISTING UTILITIES DURING CONSTRUCTION OF ADJACENT WORK.
- 10. SEE SITE SURVEY FOR EXISTING CONDITIONS.
- 11. COORDINATE ALL DEMOLITION WORK WITH OWNER.
- 12. CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES, TAPPING FEES, INSPECTION FEES, ETC.
- 13. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.







ELEVATUS
ARCHITECTURE

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CT OF PENDING PATENT APPLICATION. ANYONE VIOLATING THE INTENT OF THIS MIGHT PROTECTION WILL BE PROSECUTED TO THE FULL EXTENT OF THE FEDERA AND LOCAL LAWS.

EN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALE SIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSION ONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION.

CONSULTANT ___



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meijer

Store 194 Gas Station - Addition

MEIJER PROJECT #: CP-22-00194

1085 E Clinton Trail, Charlotte, MI 48813

2022 STORE REFRESH

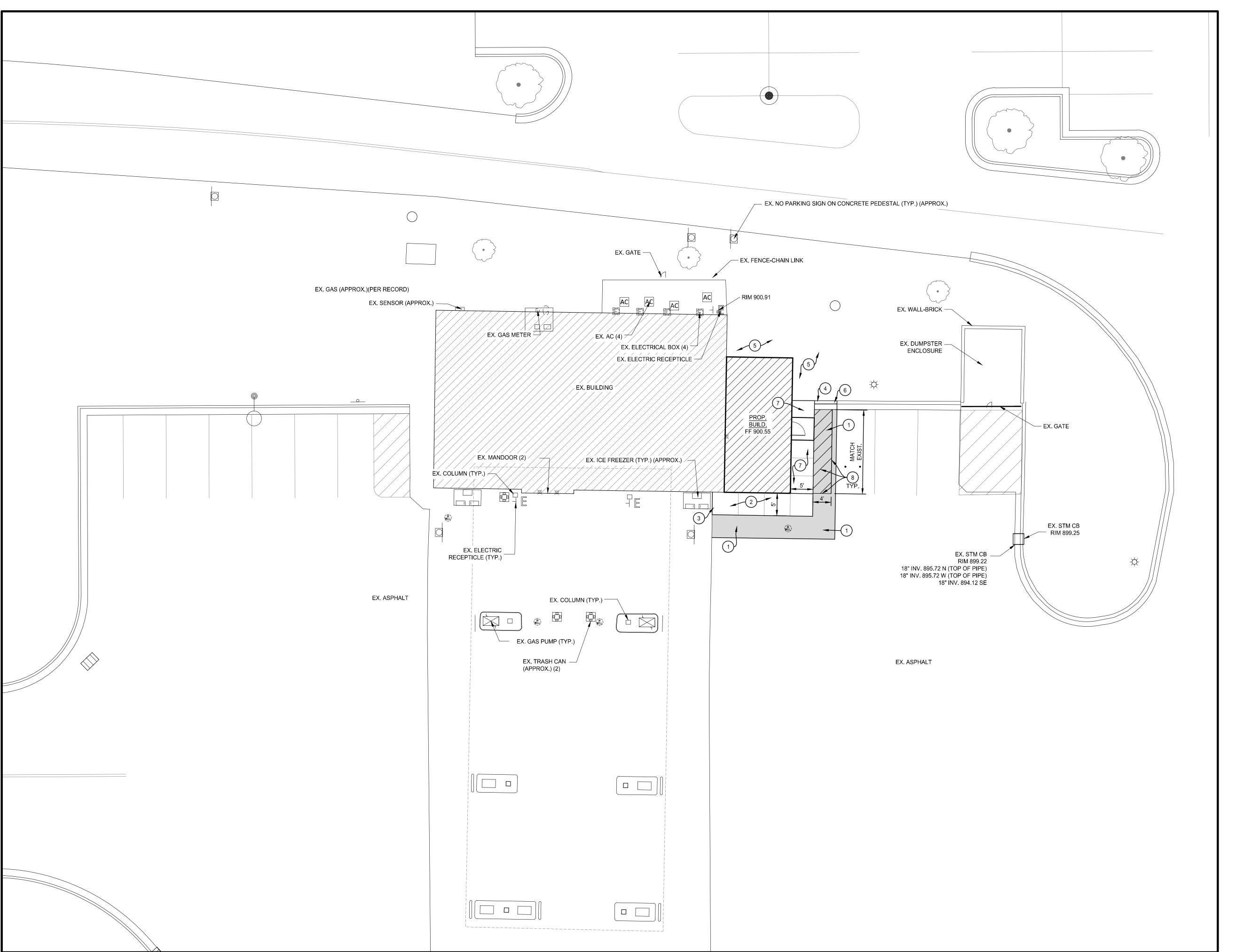
Revisions

lo. Description Date

Project No. Issue Date
2101804 01/21/2022

Submittal
Issue for Bids, Permits and Construction

Site Demolition Plan





LAYOUT NOTES:

ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS /HER EXPENSE PER THE CONTRACT DOCUMENTS.

- HEAVY DUTY BITUMINOUS PAVEMENT WITH THICKENED ASPHALT AND CONCRETE PAVEMENT EDGES PER DETAILS A2 AND A4/CG700. REPAIR ANY UNDERDRAINS THAT GET DAMAGED DURING CONSTRUCTION.
- 5" CONCRETE SLAB W/ 6"x6" W2.9xW2.9 WWF OVER 4" OF NEW AGGREGATE BASE COURSE. SEE A1/CG700 FOR
- 3 DOWELED BUTT JOINT PER DETAIL A3/CG700.

CONCRETE JOINT DETAILS.

- 4 VERTICAL CURB AND GUTTER PER DETAIL B1/CG700.

 5 SEEDING ANY DISTURBED AREAS PER SPECIFICATIONS SECTION 329200 AND PER LAWN AREA SEED MIXTURE ON THIS SHEET. SUBMIT GRASS SEED VARIETIES TO
- 6 TRANSITION CURB PROFILE TO MATCH EXISTING OVER

ENGINEER/ARCHITECT FOR APPROVAL BEFORE

- 7 CURB FACE WALK PER DETAIL B3/CG700.
- 8 4" SINGLE SOLID LINE, YELLOW.

GENERAL NOTES:

ORDERING.

- NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE CONSTRUCTION MANAGER FOR INTERPRETATION.
- 2. REFER TO SHEET CG100 FOR PARKING COUNT.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPACTION OPERATIONS.
- 4. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
- 5. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
- 6. WORK SHALL CONFORM TO THE REQUIREMENTS OF MEIJER STANDARD SPECIFICATIONS & GOVERNING AGENCIES HAVING JURISDICTION. GRADING, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON A NEW 4" COMPACTED AGGREGATE BASE COURSE. UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- 8. AGGREGATE BASE FOR CONCRETE ADJACENT TO BUILDING SHALL BE AS SPECIFIED IN SECTION 312306.
- 9. AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE DETAIL A2/CG700.
- 10. SEE ARCHITECTURAL PLANS FOR TREATMENT OF CONCRETE CURB AGAINST BUILDING.
- 11. PROVIDE SHOP DRAWING SUBMITTAL FOR SCORING JOINT & EXPANSION JOINT LAYOUT FOR ALL CONCRETE WALKS, DRIVES, & SLABS. INCLUDE LOCATIONS OF EXISTING SCORE JOINTS FOR REFERENCE.



HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL A4/CG700.

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

PROPOSED LEGEND:

CONCRETE SCORE JOINTS

LAW	N AREA SEED	MIXTURE	
COMMON NAME	PROPERTY BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
KENTUCKY BLUE GRASS	30%	90%	80%
RED FESCUE	50%	95%	80%
PERENNIAL RYE	20%	95%	80%
APPLICATION RATE: 8LBS /	1,000 SF		•





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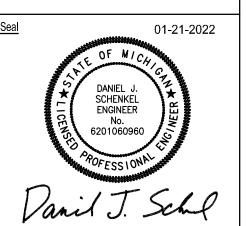
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TOTAL CONTENTION MANAGED



meijer

Store 194 Gas Station - Addition

MEIJER PROJECT #: CP-22-00194

1085 E Clinton Trail, Charlotte, MI 48813

2022 STORE REFRESH

Revisions

No. Description Date

o. Description Da

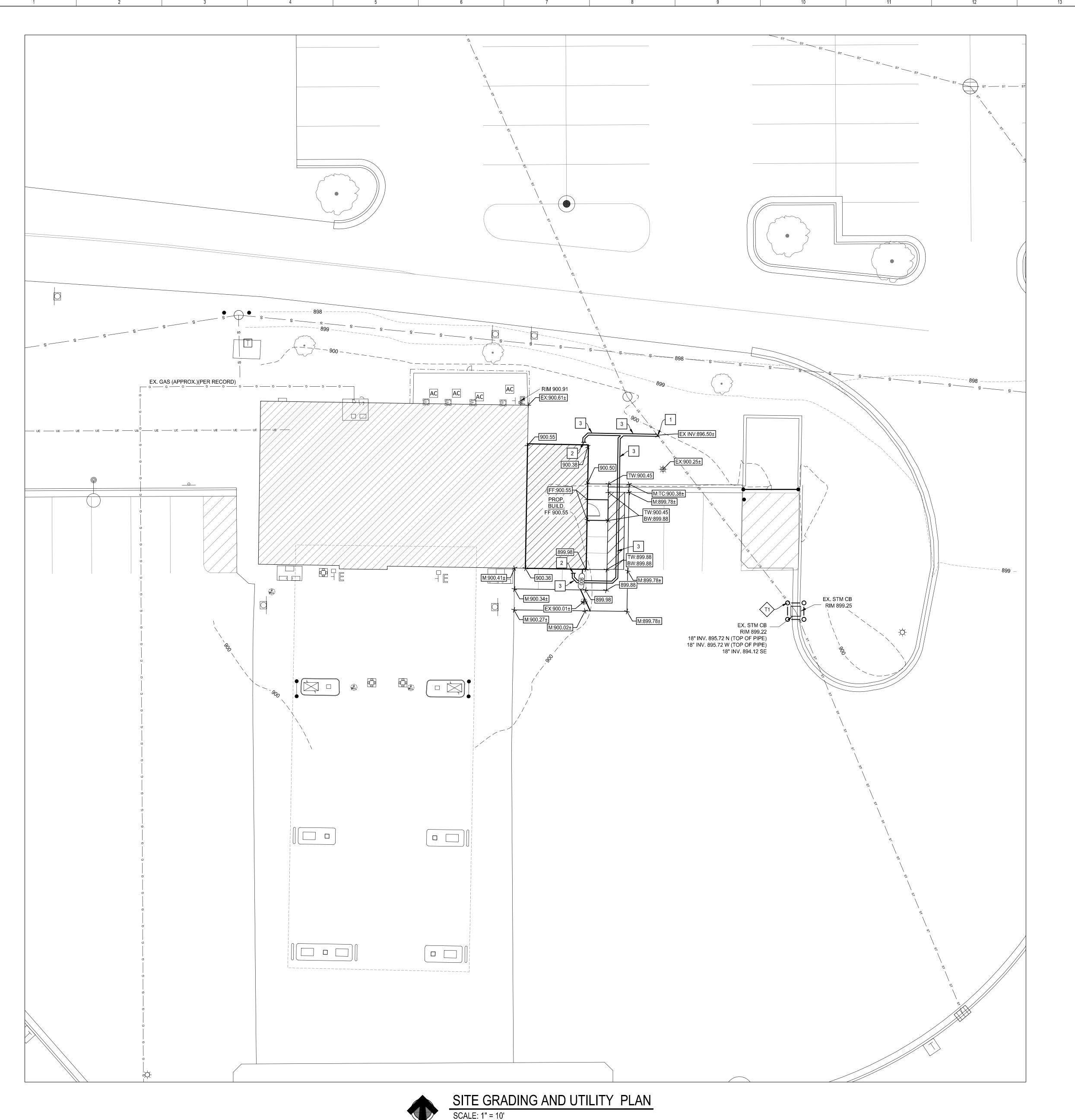
 Project No.
 Issue Date

 2101804
 01/21/2022

Issue for Bids, Permits and Construction

Site Layout and Pavement

Plan



UTILITY NOTES:

ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.

1 PRIOR TO CONSTRUCTION, CONTRACTOR TO FIELD VERIFY EXACT DEPTH AND LOCATION OF EXISTING STORM LINE. CONTRACTOR TO MAKE CONNECTION. IF THE EXISTING INVERT ELEVATION WILL NOT WORK WITH THE DESIGN THEN THE CONTRACTOR SHALL CONTACT PROJECT ENGINEER FOR FURTHER DIRECTION.

2 COORDINATE STORM CONNECTION WITH BUILDING DRAWINGS.

3 6" DOWNSPOUT CONNECTION @ MINIMUM 1.00% SLOPE.
MAINTAIN 2' MINIMUM COVER. TIE INTO STORM SEWER

NETWORK. INSTALL PER PIPE TRENCH DETAIL B2/CG700.

UTILITY LEGEND:

STORM SEWER

NOTE:

B2/CG700.

ALL UTILITIES SHOWN ARE APPROXIMATE LOCATION FROM FIELD DATA, DESIGN DRAWINGS, AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.

STORM SEWER NOTES:

- MATERIAL AND WORKMANSHIP SHALL COMPLY WITH THE CITY OF CHARLOTTE STANDARDS AND SPECIFICATIONS.
- 2. ALL PIPE 12" AND SMALLER SHALL BE SDR 35 PVC, OR ADS N-12 HDPE UNLESS OTHERWISE NOTED. ALL PIPE SHALL BE INSTALLED ACCORDING TO SPECIFICATIONS AND PIPE TRENCH DETAIL
- 3. MAINTAIN 10'-0" MINIMUM HORIZONTAL AND 18" MINIMUM VERTICAL SEPARATION BETWEEN ALL SEWER PIPING AND POTABLE WATER PIPING. WHEN MINIMUM TOLERANCES CAN'T BE MAINTAINED, USE WATERWORKS GRADE PIPE AND FITTINGS OF MATERIAL SELECTED.
- COORDINATE LOCATIONS FOR DOWNSPOUTS WITH BUILDING DRAWINGS. ASSURE ALL REQUIRED FITTINGS ARE INSTALLED ON THE MAIN LINE PRIOR TO BACKFILLING.

GRADING LEGEND:

---900-- Existing contour

900 PROPOSED CONTOUR

M:XXX.xx± MATCH EXISTING ELEVATION

TC:XXX.xx PROPOSED SPOT ELEVATION

TOP OF CURB ELEVATION

BC:XXX.xx BOTTOM OF CURB ELEVATION

BC:XXX.xx BOTTOM OF CURB ELEVATIO

EX:XXX.xx EXISTING ELEVATION

TW:XXX.xx TOP OF WALK

NOTE: ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.

BW:XXX.xx BOTTOM OF WALK

GRADING NOTES:

ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.

- (1) GENERAL NOTE (NOT LABELED ON PLAN). MAINTAIN A MINIMUM SLOPE OF 0.5% AND NO GREATER SLOPE THAN 2% ON PROPOSED CONCRETE SIDEWALK. CONTRACTOR TO ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING STRUCTURE WHILE MAINTAINING MIN./MAX. SLOPES. CONTACT ENGINEER IF CONFLICT EXISTS FOR FURTHER INSTRUCTION.
- (2) GENERAL NOTE (NOT LABELED ON PLAN). SURVEY PROVIDED DURING THE DESIGN PHASE DID NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO FIELD VERIFY AND ADJUST ANY UTILITY CASTINGS WITHIN PROJECT LIMITS TO PROPOSED GRADE.

EROSION CONTROL KEY:

INLET PROTECTION DEVICE: SILT-SAVER, SILT SAVER, INC., COVINGTON, GA, OR SILTSACK, ACF ENVIRONMENTAL, RICHMOND, VA. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

EROSION CONTROL LEGEND:



INLET PROTECTION

EROSION CONTROL NOTES:

PRE-CONSTRUCTION ACTIVITY

- CONTACT THE MICHIGAN UTILITIES PROTECTION SERVICE "MICHIGAN 811" TO LOCATE UNDERGROUND UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO EARTH DISTURBING ACTIVITIES. MARK UTILITIES ON THE PROJECT
- 2. PRESERVE AND PROTECT TREES, SHRUBS, EXISTING
- VEGETATION AND EXISTING ITEMS TO REMAIN ON THE SITE.

 3. ESTABLISH EQUIPMENT AND EMPLOYEE PARKING AND
- STAGING AREAS.

 4. PROTECT EXISTING STORM WATER SEWER SYSTEM INLETS WITH INLET PROTECTION DEVICES. ANY STORM SEWER STRUCTURES LOCATED CLOSE TO PROPOSED WORK SHALL HAVE INLET PROTECTION DEVICES INSTALLED.

CONSTRUCTION ACTIVITY

- DE-WATER THE CONSTRUCTION SITE WHEN NEEDED.
 BEGIN DEMOLITION OF ITEMS TO BE REMOVED FOR THE
- PROPOSED CONSTRUCTION.

 3. INSTALL CONCRETE WASHOUT AREA(S) TO BE USED DURING CONSTRUCTION OF ROADS, PARKING LOTS, SIDEWALKS, AND BUILDINGS. CONTRACTOR TO USE PREFABRICATED

PORTABLE CONCRETE WASHOUT SYSTEMS / CONTAINERS

- WITH A MINIMUM SUMP CAPACITY OF 2 CU YDS.
 4. PLACE INLET PROTECTION DEVICES AT ALL INLETS
- SPECIFIED ON THE SITE GRADING PLAN.
 5. CONSTRUCT UTILITIES, PARKING LOTS, SIDEWALKS AND
- BUILDING(S).
- 6. REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.



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Call before you dig.



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CONSULTANT



11020 Diebold Road, Fort Wayne, IN 46845 Ph: (260) 490-1025 Fax: (260) 490-1026 www.engineeringresourcesinc.com



OWNER'S CONSTRUCTION MANAGER



meijer

Addition

MEIJER PROJECT #:

Store 194 Gas Station -

CP-22-00194

1085 E Clinton Trail,
Charlotte, MI 48813

2022 STORE REFRESH

Revisions

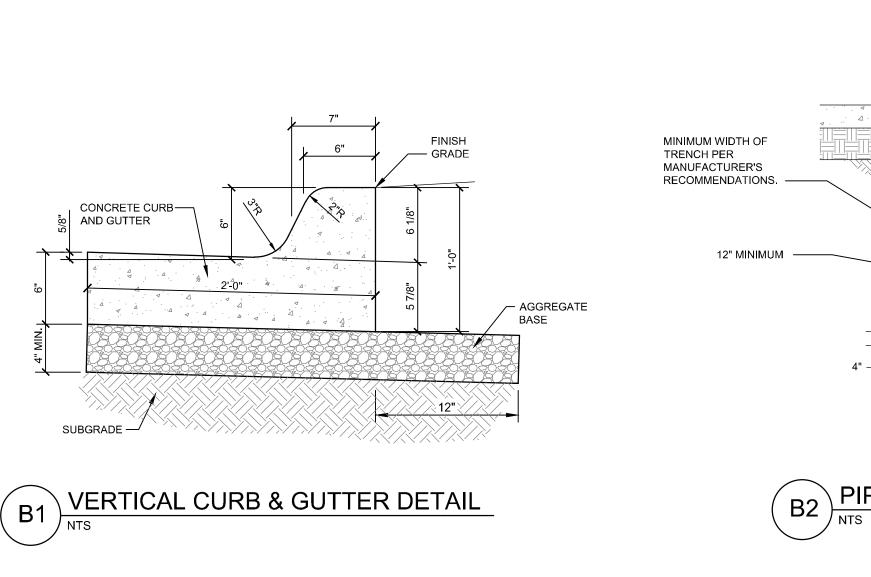
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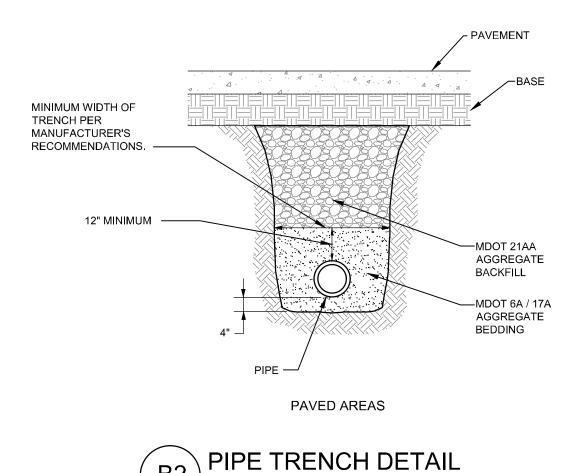
Date

Project No. Issue Date
2101804 01/21/2022

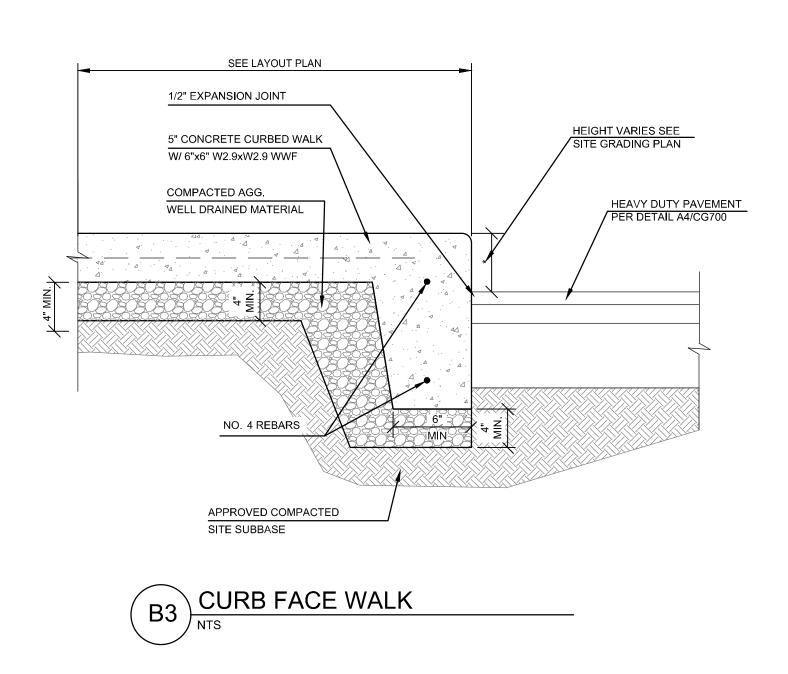
Submittal
Issue for Bids, Permits and Construction

Site Grading and Utility Plan





BITUMINOUS PAVING



— SPACE 1/8" JOINTS IN ACCORDANCE WITH

B1 PLAN AND AS NOTED

14" (MIN.)

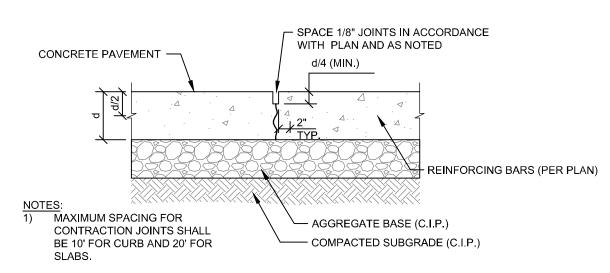
EMBEDMENT LENGTH 6" (MIN.)

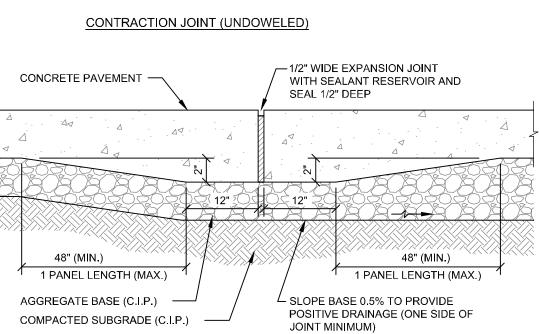
EACH PANEL

EPOXY COATED 3/4" SMOOTH

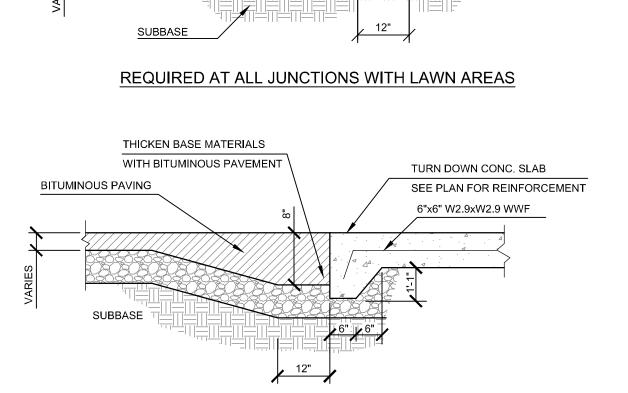
ROUND DOWEL (12" O.C.) ONE

SIDE LUBRICATED -



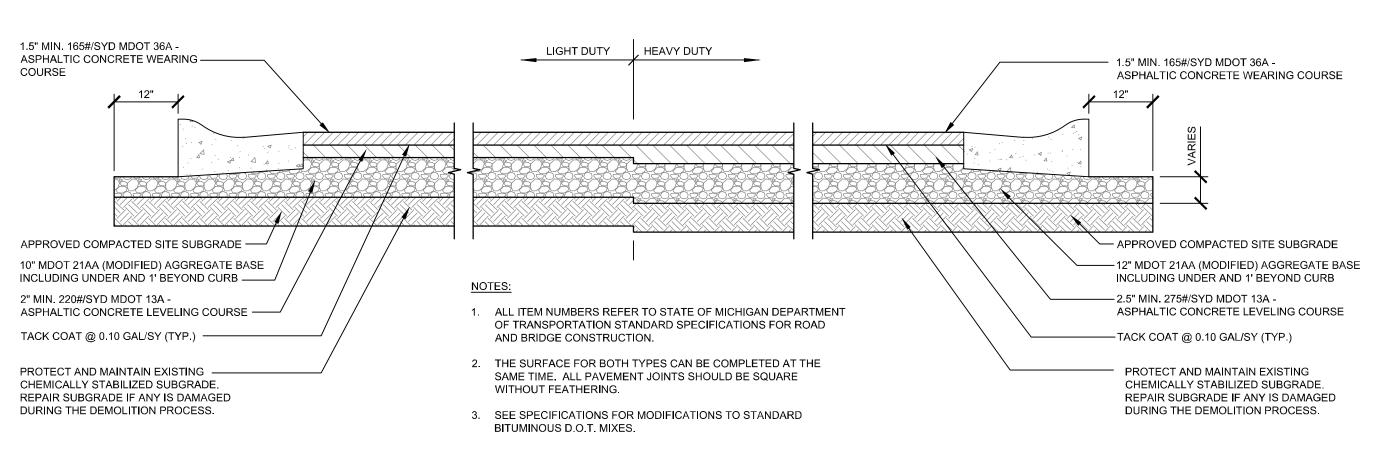






EDGE OF PAVEMENT
PER PLAN





A4 LIGHT DUTY/HEAVY DUTY PAVEMENT SECTION



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260-424-9080 ElevatusArchitecture.com

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meijer

Store 194 Gas Station - Addition

MEIJER PROJECT #: CP-22-00194

1085 E Clinton Trail, Charlotte, MI 48813

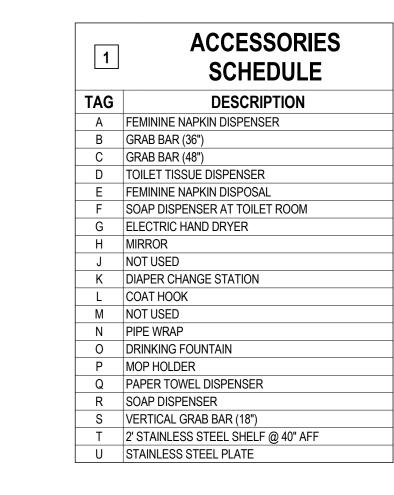
2022 STORE REFRESH

	2022 OTONE REFRESH					
	Revisions					
0.	Description	Date				

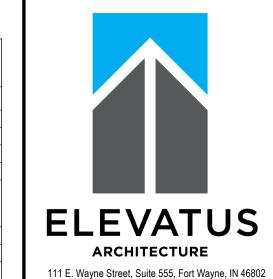
Project No. Issue Date
2101804 01/21/2022

Submittal
Issue for Bids, Permits and Construction

Site Details



CESSORIES CHEDULE	3.01 FLOOR PLAN NOTES						
OHEBOLL	TAG	DESCRIPTION					
ESCRIPTION	DIV 3 - C	DIV 3 - CONCRETE					
DISPENSER	3.05	NEW INTERIOR CONCRETE SLAB - REFER TO GENERAL NOTES					
	DIV 6 - V	VOOD, PLASTICS, AND COMPOSITES					
	6.01	NEW CASEWORK - REFER TO MEIJER "Q" DOCUMENTS FOR ADDITIONAL INFORMATION.					
PENSER	6.03	OWNER PROVIDED NEW SOLID SURFACE COUNTERTOPS COMPLETE WITH 4" BACKSPLASH -					
DISPOSAL		COORDINATE ALL OPENINGS WITH OTHER TRADES AND MEIJER "Q" DOCUMENTS. REFER TO STANDARD					
AT TOILET ROOM		BASE CABINET ISOMETRIC.					
RYER	6.06	PROVIDE NEW HDPE WINDOW STOOL.					
	DIV 8 - C	PENINGS					
	8.02	REMOVE OLD CAULKING AND PROVIDE NEW, FULL PERIMETER OF FRAME.					
TATION	DIV 9 - F	INISHES					
IATION	9.13	PROVIDE NEW 1/4" GYPSUM WALL BOARD OVERTOP OF EXISTING MASONRY WALLS TO ALLOW FOR NEW FINISHES					
	9.21	CHASE WALL FOR LOZIER CORNERS 1/2" GYP. BD. ON 3 5/8" METAL STUDS TO HEIGHT 1" TALLER THAN ADJACENT SHELVES (REFER TO MEIJER "Q" DOCUMENTS) CAP WITH 1/2" HDPE TOP AND TRIM.					
N	DIV 11 -	EQUIPMENT					
	11.05	WINDOW BLINDS, MANUAL, SEE SPECS					
PENSER							
D (100)							
AR (18")							



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CONSULTANT

ROCKFORD
CONSTRUCTION

meijer

STORE #194 GAS STATION - ADDITION

MEIJER PROJECT #: CP-22-00194 1085 E. Clinton Trail Charlotte, MI 48813

2022 STORE REFRESH

REVISIONS

DESCRIPTION

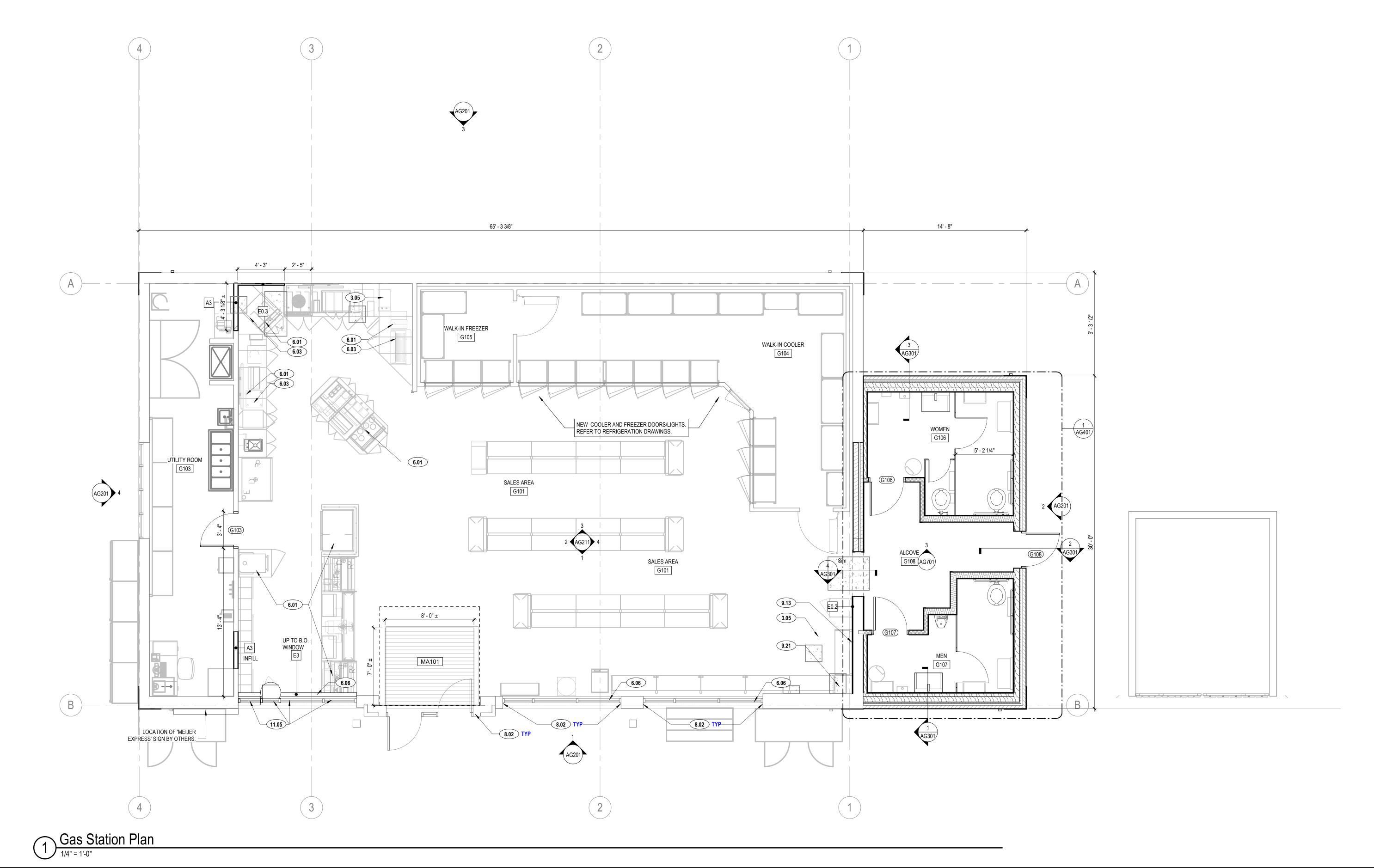
DATE

PROJECT NO. ISSUE DATE
2101804 1/21/2022

SUBMITTAL
Issue for Bids, Permits, & Construction

CONSTRUCTION FLOOR PLAN

AG102





MARK	QTY.	DESCRIPTION	ARIBA PART#	MANUF. / CATALOG NO.	LAMPS	VOLTAGE	REMARKS
EM2	2	REMOTE WEATHERPROOF DOUBLE HEAD, 6 VOLT, 5 WATT	GSX7	SURE-LITES #SRP25DWH	LED, 90 LUMENS, 5W, N/A, 80 CRI	120 V	MOUNT APPROX. 8-6" ABOVE SIDEWALK, U.N.O.; PROVIDE 2#10 & 1#10G - 3/4"C TO EXIT SIGN DEVICE
EX6	3	BACK-MOUNTED POLYCARBONATE LED EXIT SIGN, REMOTE HEAD CAPACITY, SELF DIAGNOSTICS	GSX5	SURE-LITES #LPXR5SD	LED, N/A, 7W,N/A,N/A	120 V	MOUNT 6" ABOVE DOOR OR WALL OPENING, UNO
ST9	15	LED, 8'-0" LINEAR, SUSPENDED FIXTURE	GSZ	CREE #LS8-80L-40K-10V	LED, 8,000 LUMENS, 80W, 4000°K, 80 CRI	120 V	MATCH EXISTING MOUNTING HEIGHTS
ST9E	3	LED, 8'-0" LINEAR, SUSPENDED FIXTURE WITH EMERGENCY BACK-UP	GSZE	CREE #LS8-80L-40K-10V-EB14	LED, 8,000 LUMENS, 80W, 4000°K, 80 CRI	120 V	MATCH EXISTING MOUNTING HEIGHTS
ST10	1	LED, 4'-0" LINEAR, SUSPENDED FIXTURE	LS10	CREE: LS4-50L-40K-10V	LED, 5,000 LUMENS, 48W, 4000°K, 80 CRI	120 V	MATCH EXISTING MOUNTING HEIGHTS
TL1	6	LED, LINEAR TAPE LIGHT UNDERSHELF STRIP FIXTURE		LOZIER LIGHTING: LKQC3LED4000	LED,1,040 LUMENS, 7.5W, 4000°K, 85 CRI	120 V	
TR1	2	LED, 2x4, GRID MOUNTED, RECESSED LENSED TROFFER	TR1	LITHONIA #2BLT4-40L-ADSM-EZ1-LP940	LED, 4,000 LUMENS, 32W, 4000°K, 80 CRI	120 V	
TR1E	3	LED, 2x4, GRID MOUNTED, RECESSED LENSED TROFFER WITH BATTERY BACK-UP	TR1E	LITHONIA #2BLT4-40L-ADSM-EZ1-E10WLCP-LP940	LED, 4,000 LUMENS, 32W, 4000°K, 80 CRI	120 V	PROVIDE UNSWITCHED HOT TO EMERGENCY
WM6	1	LED WALL PACK, SILVER, TYPE III DISTRIBUTION LUMINAIRE	GSL1	CREE #XSPW-B-WM-3ME-4L-57K-UL-SV	LED, 4,100 LUMENS, 42W, 5700°K, 80CRI	120 V	MOUNT AT 9'-6" A.F.F.

LIGHTING FIXTURE SCHEDULE NOTES - GENERAL:

- A. FIXTURE SHALL BE JOB-PACKED AND FULLY ASSEMBLED.
- B. CABLE MOUNTING SYSTEM PROVIDED WITH FIXTURES. EACH 8'-0" SECTION SHOULD HAVE APPROXIMATELY (1) MOUNTING POINT; FIELD VERIFY EXACT REQUIREMENTS.
- THE CONTRACTOR/EQUIPMENT SUPPLIER TO COMPLETE CATALOG NUMBERS TO MATCH THE FIXTURE DESCRIPTION, COMPLIANCE WITH SPECIFICATIONS AND INSTALLATION REQUIREMENTS. D. PROVIDE ALL MOUNTING HARDWARE, BRACKETS, AND FLANGES AS NECESSARY; COORDINATE WITH

C. SPECIFICATION NUMBERS ARE MANUFACTURERS SERIES NUMBERS ONLY. IT IS THE RESPONSIBILITY OF

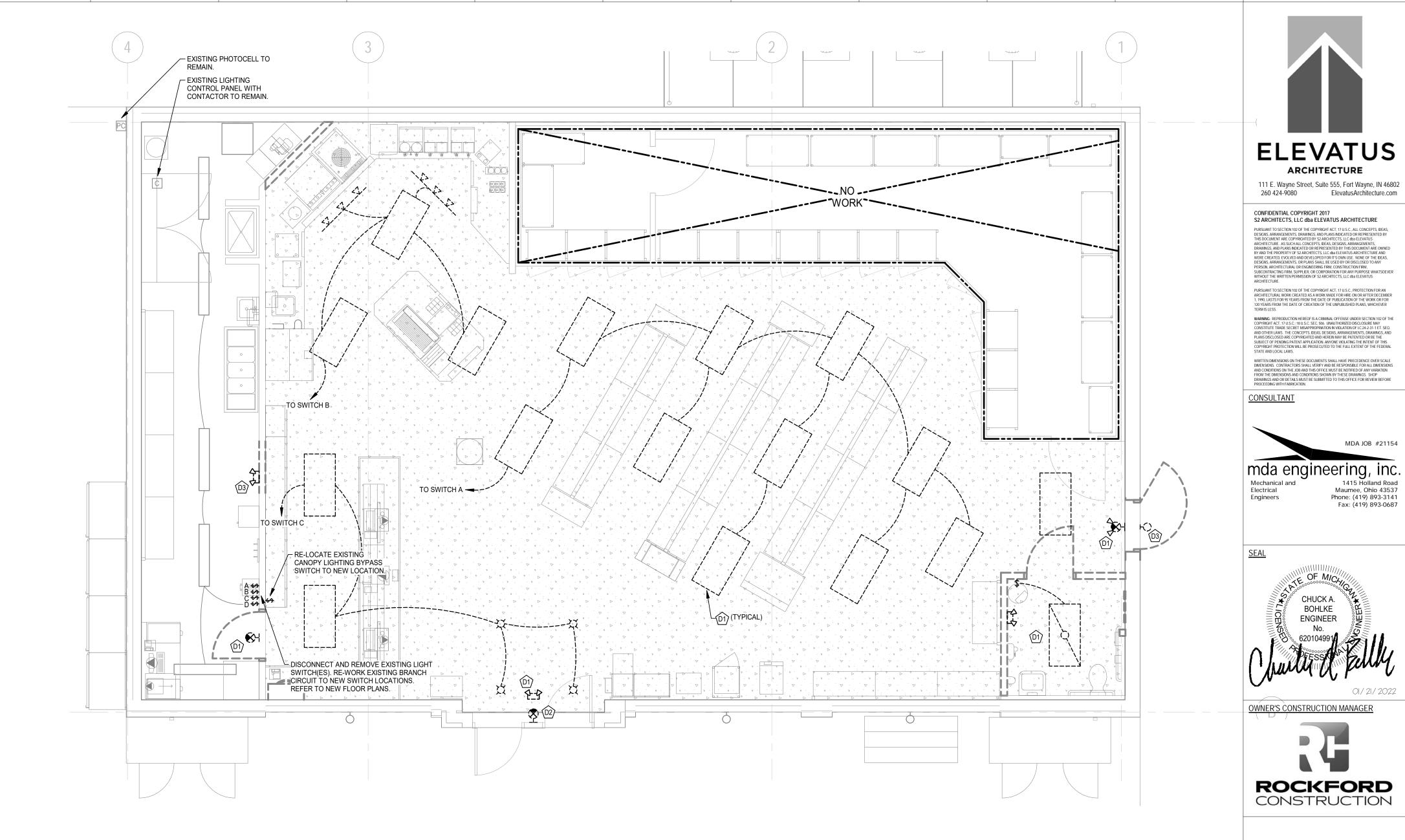
E. ALL FIXTURES SHALL BE DLC OR ENERGY STAR TESTED AND LABELED.

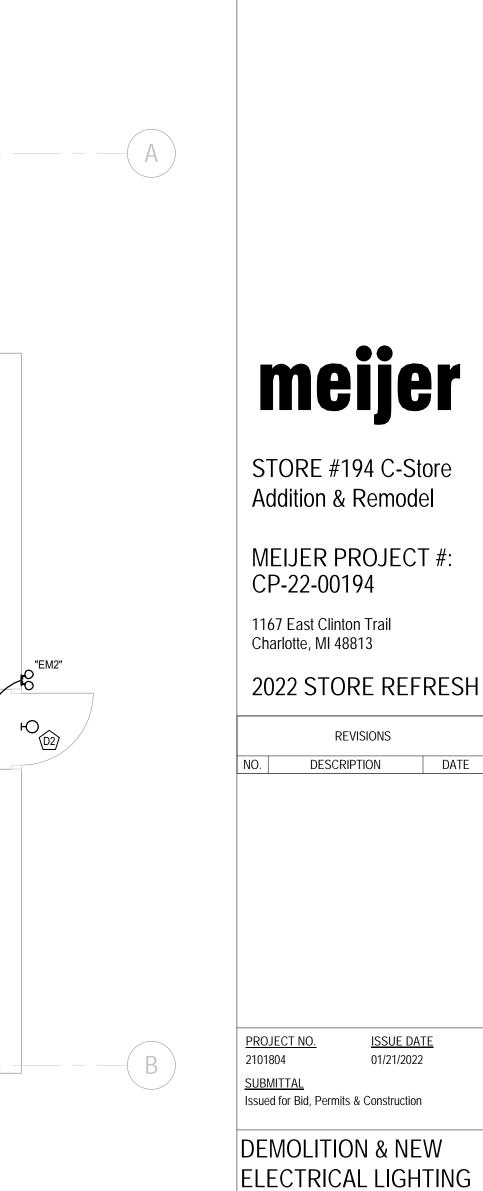
- **GENERAL NOTES** A. REFER TO EG001 FOR ELECTRIAL SYMBOL LEGEND.
- B. REFER TO EG601 FOR PANEL SCHEDULES.
- C. REFER TO EG500 FOR ELECTRICAL DETAILS. D. ALL NIGHT LIGHT (NL) FIXTURES AND EXIT SIGNS SHALL BE SWITCHED AHEAD OF
- LOCAL SWITCHING. E. CONTRACTOR SHALL COORDINATE LOCATION OF ALL LIGHTING FIXTURES AND CEILING MOUNTED DEVICES WITH ARCHITECTURAL REFELCTED CEILING PLANS,
- ELEVATIONS, SECTIONS, AND DETAILS, CONTRACTOR SHALL ALSO COORDINATE LOCATIONS OF RECEPTACLES AND OTHER WALL MOUNTED DEVICES WITH ARCHITECTURAL WALL ELEVATIONS AND FINISHES.

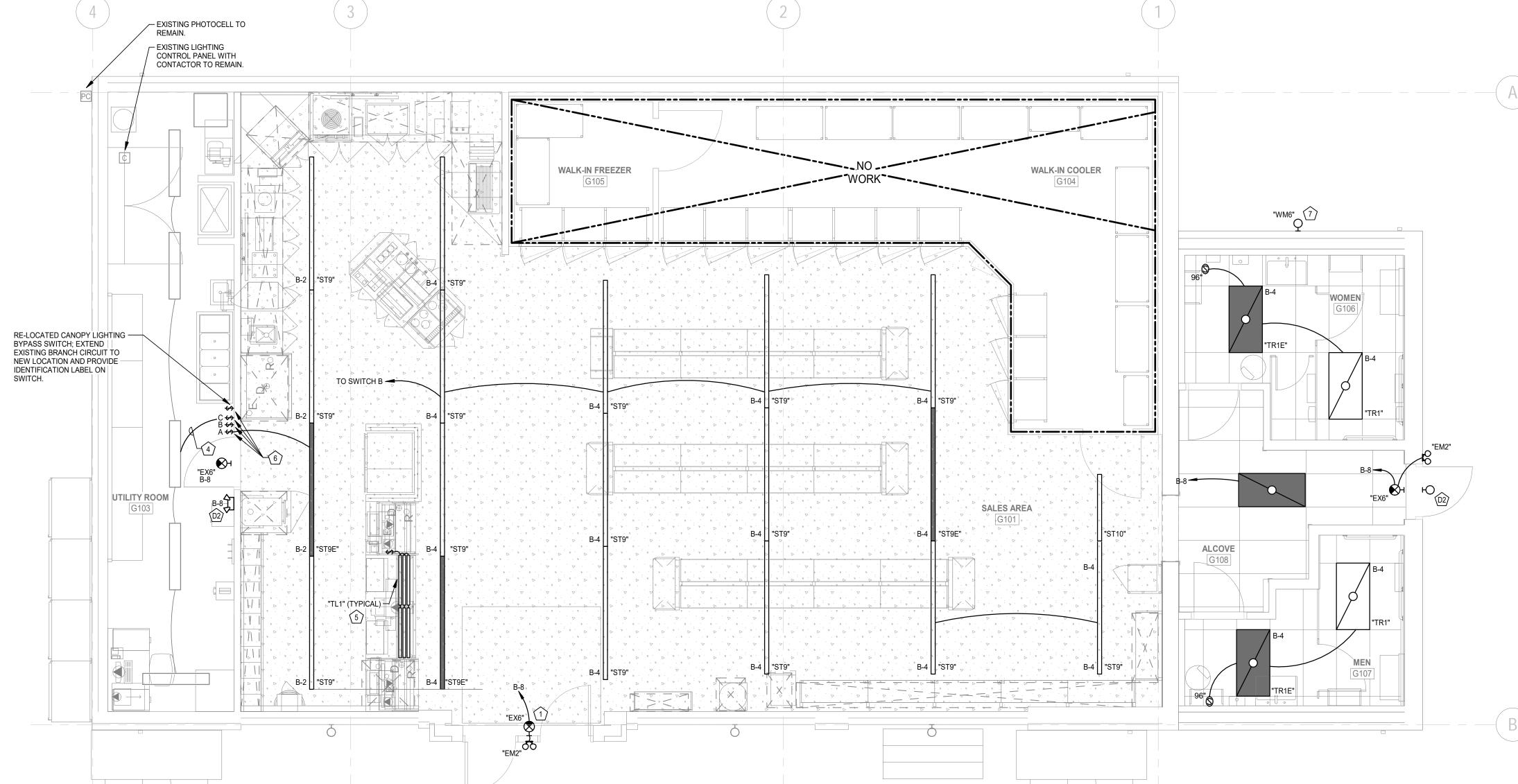
2 LIGHTING PLAN - DEMOLITION

BRANCH CIRCUIT.

- D1 DISCONNECT AND REMOVE ALL EXISTING LIGHTING FIXTURES, CONTROL DEVICES AND CONDUIT/CONDUCTORS IN THIS AREA. SEE NEW FLOOR PLAN FOR NEW LIGHTING
- LAYOUT. PAINT AND PATCH ALL WALL OPENINGS LEFT FROM REMOVALS. D2 EXISTING LIGHT FIXTURE TO BE REPLACED WITH NEW LED AND ASSOCIATED CONTROLS
- TO REMAIN OR BE UPGRADED; REFER TO NEW FLOOR PLANS. D3 DISCONNECT AND RE-LOCATE EXISTING FIXTURE TO NEW LOCATION; RE-USE EXISTING







LIGHTING PLAN - NEW EG101 / SCALE: 1/4" = 1'-0"

PLAN NOTES

- 1 REPLACE EXISTING LIGHT FIXTURE WITH NEW; RE-USE EXISTING BRANCH CIRCUIT. NOT USED.
- 4 RE-WORK EXISTING BRANCH CIRCUIT TO NEW SWITCH LOCATION. 5 E.C. TO INSTALL UNDERSHELF LIGHTING POWER CHANNELS PER PLANS AND MANUFACTURER'S SPEC. MOUNT FIXTURE DRIVER BEHIND/BELOW MILLWORK BASE, PLUGGED INTO NEAREST RECEPTACLE; REFER TO SHEET EG201 FOR POWER REQUIREMENTS. ATTACH MAGNETIZED UNDERSHELF LIGHT BARS TO UNDERSIDE OF THE MILLWORK COUNTER AND EACH SHELF. CONNECT TO THE INSTALLED POWER CHANNEL. ALL FIXTURE CORDS TO BE CLEANLY MANAGED AND HIDDEN FROM CUSTOMER VIEW.
- 6 NEW SWITCH LOCATION; EXTEND EXISTING BRANCH CIRCUIT TO NEW LOCATION. 7 CONNECT NEW EXTERIOR WALL MOUNTED FIXUTRE TO EXISTING EXTERIOR LIGHTING CONTROLLED BRANCH CIRCUIT (GDPD-8). FIXTURE SHALL HAVE OPERATE ON SAME CONTROLLED CIRCUIT AS EXISTING EXTÉRIOR WALL MOUNTED FIXTURES.

D2 RELOCATED LIGHT FIXTURE FROM DEMOLITION; RE-USE EXISTING BRANCH CIRCUIT.

01/21/2022

REVISIONS

DESCRIPTION

ARCHITECTURE

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BOHLKE