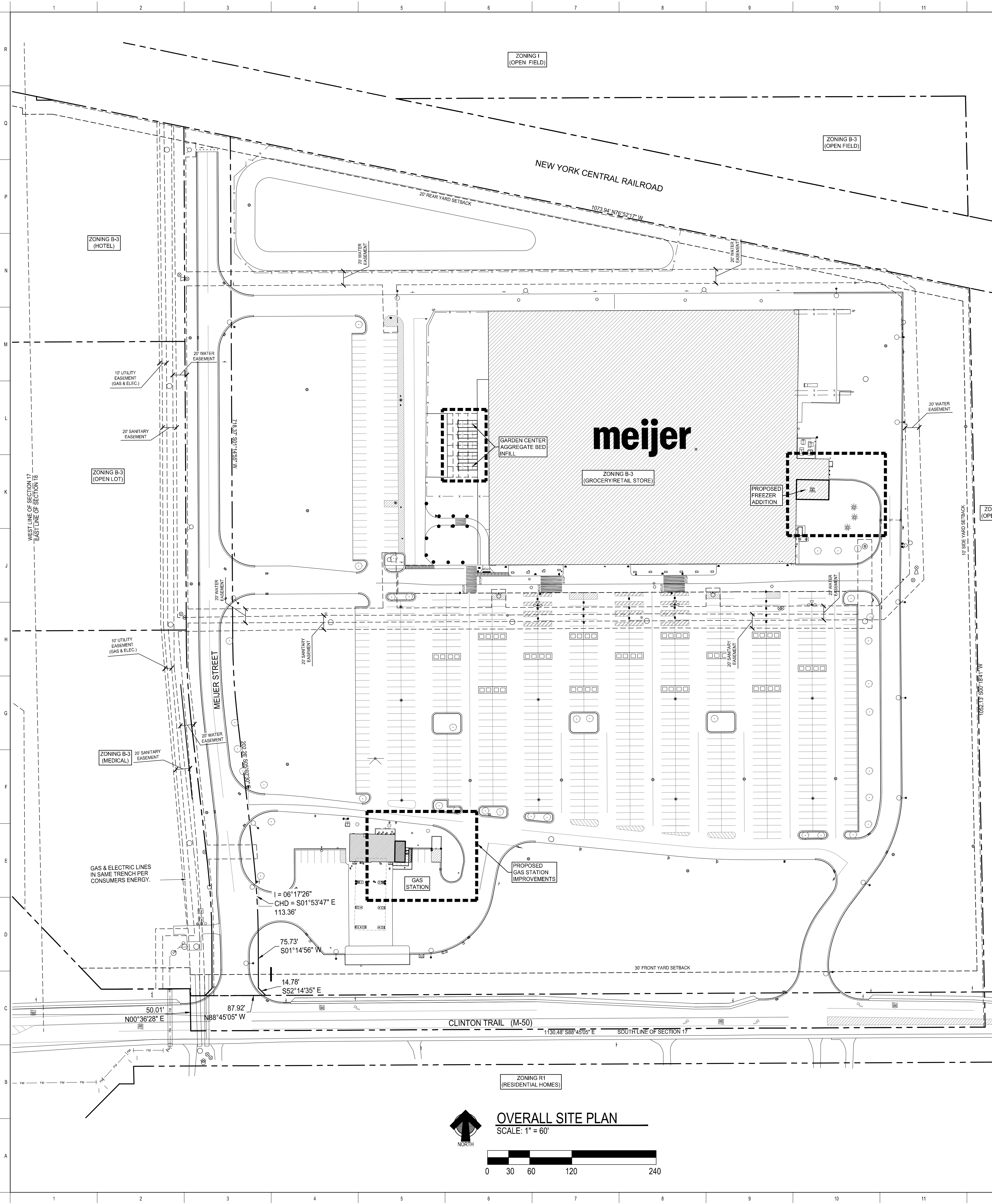


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S:\Projects\Projects (5500-5999)\Projects (5500-5999)\194-C-100 Overall Site Plan for Community.dwg



LOT INFORMATION:
MAIN STORE / GAS STATION PARCEL #: 200-017-300-020-06
PROPERTY ZONING: B-3 (GENERAL BUSINESS DISTRICT)
COUNTY: EATON COUNTY
TOWNSHIP: EATON
ACRES OF PROPERTY: 28.10±
TOTAL DISTURBED AREA: 4,439 ± SQUARE FEET
NEW IMPERVIOUS AREA: 2,818 ± SQUARE FEET (FREEZER ADDITION, AGGREGATE BED INFILL AND GAS STATION ADDITION)
LAND USE: GROCERY / RETAIL STORE AND GAS STATION / CONVENIENCE STORE
TOTAL PROPOSED FLOOR AREA: 1,743 SF (1,304 SF FREEZER AND 439 SF GAS STATION ADDITION)
FLOOR COVERAGE RATIO: 15% OF LOT IS COVERED BY A BUILDING
FLOOR AREA RATIO: 15% OF LOT IS COVERED BY A BUILDING
NUMBER OF BUILDINGS ON-SITE: TWO (2) BUILDINGS (MAIN STORE AND GAS STATION)
HEIGHT OF THE BUILDING - EXISTING AND ADDITIONS: EXISTING STORE BUILDING = 40'-10" FREEZER ADDITION AT STORE = 11'-7" EXISTING GAS STATION = 24'-5" GAS STATION ADDITION = 20'-4"

EXISTING PARKING (MAIN STORE AND GAS STATION):
STORE PARKING LOT: 729 STANDARD SPACES 18 HANDICAP ACCESSIBLE SPACES 745 TOTAL SPACES
EXISTING CART CORRALS: 13 CORRALS
GAS STATION PARKING LOT: 11 STANDARD SPACES 1 HANDICAP ACCESSIBLE SPACES 12 PARKING SPACES AT EACH GAS PUMP 24 TOTAL SPACES
TOTAL PARKING SPACES: 745 + 24 = 769 TOTAL SPACES
REQUIRED PARKING SPACES: (1 SPACE PER 150 SQUARE FEET OF USEABLE FLOOR AREA) 123,987 SF (STORE AND GAS STATION) / 150 SF = 827 REQUIRED SPACES

PROPOSED PARKING (MAIN STORE AND GAS STATION):
STORE PARKING LOT: 729 STANDARD SPACES 18 HANDICAP ACCESSIBLE SPACES 745 TOTAL SPACES
EXISTING CART CORRALS: 13 CORRALS
GAS STATION PARKING LOT: 10 STANDARD SPACES 1 HANDICAP ACCESSIBLE SPACES 12 PARKING SPACES AT EACH GAS PUMP 23 TOTAL SPACES
TOTAL PARKING SPACES: 745 + 23 = 768 TOTAL SPACES
REQUIRED PARKING SPACES: (1 SPACE PER 150 SQUARE FEET OF USEABLE FLOOR AREA) 123,987 SF (STORE AND GAS STATION) / 150 SF = 827 REQUIRED SPACES

SURVEY NOTE:
EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY SME. PROJECT #087630 (00) DATED OCTOBER 23, 2021. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.
SITE BENCHMARK PROVIDED FROM TOPOGRAPHIC SURVEY BY SME.

LEGAL DESCRIPTION:
MEIJER STORE #194 - CHARLOTTE, EATON CO., MI CORPORATE OWNER: MEIJER, INC.
A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 17, TOWN 2 NORTH, RANGE 4 WEST, CITY OF CHARLOTTE, EATON COUNTY, MICHIGAN, FURTHER DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 17, TOWN 2 NORTH, RANGE 4 WEST; THENCE SOUTH 88°45'05" EAST, 193.09 FEET ALONG THE SOUTH LINE OF SAID SECTION 17; THENCE NORTH 00°36'28" EAST, 50.01 FEET, TO THE NORTHERLY RIGHT OF WAY LINE OF HIGHWAY M-59 (CLINTON TRAIL); THENCE ALONG SAID RIGHT OF WAY LINE SOUTH 88°45'04" EAST, 108.97 FEET, TO THE POINT OF BEGINNING; THENCE NORTH 52°14'35" WEST, 14.78 FEET; THENCE NORTH 01°14'35" EAST, 75.73 FEET; THENCE NORTHERLY 113.41 FEET ALONG THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 1033.00 FEET, A CENTRAL ANGLE OF 06°17'26", AND A CHORD WHICH BEARS NORTH 01°53'47" WEST, 113.36 FEET; THENCE NORTH 05°02'30" WEST, 202.26 FEET; THENCE NORTHERLY 106.17 FEET ALONG THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 967.00 FEET, A CENTRAL ANGLE OF 06°17'25", AND A CHORD WHICH BEARS NORTH 01°53'47" WEST, 106.11 FEET; THENCE NORTH 01°14'59" EAST, 718.37 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF THE NEW YORK CENTRAL RAILROAD; THENCE ALONG SAID RIGHT OF WAY LINE SOUTH 76°52'17" EAST, 1073.96 FEET TO THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE ALONG SAID EAST LINE, SOUTH 07°19'42" WEST, 1052.13 FEET TO THE SOUTH LINE OF SAID SECTION 17; THENCE NORTH 88°45'05" WEST, 1022.08 FEET; THENCE NORTH 01°14'55" EAST, 55.00 FEET TO THE POINT OF BEGINNING.
TOGETHER WITH: A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 18, TOWN 2 NORTH, RANGE 4 WEST, CITY OF CHARLOTTE, EATON COUNTY, MICHIGAN DESCRIBED AS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 18; THENCE NORTH 00°23'41" EAST ALONG THE EAST LINE OF SECTION 18 A DISTANCE OF 131.66 FEET TO THE NORTHEASTLY RIGHT OF WAY LINE OF HIGHWAY I-49; THENCE ALONG SAID RIGHT OF WAY LINE FOR THE NEXT THREE COURSES: NORTH 42°19'11" WEST, 106.55 FEET, NORTH 01°13'05" EAST, FOR 230.95 FEET, NORTH 52°28'52" WEST, FOR 22.81 FEET, TO THE POINT OF BEGINNING; THENCE FROM SAID POINT OF BEGINNING, CONTINUING ALONG SAID NORTHEASTLY RIGHT OF WAY LINE OF HIGHWAY I-49 FOR THE NEXT SIX COURSES: NORTH 52°28'52" WEST, FOR 513.46 FEET, NORTH 38°58'50" WEST, FOR 312.41 FEET, NORTH 17°05'54" WEST, FOR 354.19 FEET, NORTH 00°49'30" EAST, FOR 40.00 FEET, SOUTH 89°10'30" EAST, FOR 4.00 FEET, AND NORTH 00°49'30" EAST, FOR 127.25 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF THE NEW YORK CENTRAL RAILROAD; THENCE ALONG SAID RIGHT OF WAY LINE SOUTH 76°52'17" EAST, FOR 725.78 FEET; THENCE SOUTH 00°20'27" WEST, FOR 896.42 FEET TO THE POINT OF BEGINNING.

SITE PLAN NOTES:
1. OWNER INFORMATION: MEIJER, INC. (GOOD WILL, INC.) 2350 THREE MILE ROAD GRAND RAPIDS, MI 49544
2. STORM DRAINAGE PATTERNS AND STORM WATER MANAGEMENT SHALL REMAIN AS EXISTING. THERE WILL BE A SLIGHT INCREASE IN IMPERVIOUS AREA WHICH WILL ALSO INCREASE STORMWATER QUALITY.
3. PROPOSED CONSTRUCTION IS NOT LOCATED IN A DESIGNATED FLOODPLAIN OR WETLAND AREA.
4. EXISTING UTILITIES SHALL REMAIN, EXISTING BUILDING AND POLE-MOUNTED SITE LIGHTING FIXTURES SHALL REMAIN UNLESS SHOWN TO BE RELOCATED. ANY NEW PROPOSED LIGHT FIXTURES SHALL BE SHIELDED AS REQUIRED BY ZONING ORDINANCE LIGHTING REQUIREMENTS.
5. EXISTING LANDSCAPING SHALL REMAIN.
6. CONSTRUCTION DRAWINGS WILL INCLUDE REQUIRED SOIL EROSION CONTROL MEASURES INCLUDING INLET PROTECTION AT ALL AFFECTED STORMWATER INLETS.
7. SEE ARCHITECTURAL DRAWINGS FOR CHANGES TO EXTERIOR SIGNAGE.
FIRE DEPARTMENT NOTES: 1. THE EXISTING BUILDING ADDRESS(S) SHALL REMAIN UNCHANGED. 2. EXISTING FIRE LANES AND FIRE DEPARTMENT ACCESS ROAD WIDTHS SHALL REMAIN. 3. ALL FIRE HYDRANTS SHALL REMAIN.

MAIN STORE SQUARE FOOTAGE: (INCLUDES GARDEN CENTER AREA)
EXISTING GROSS FLOOR AREA: 184,723 SF PROPOSED GROSS FLOOR AREA: 186,027 SF USEABLE FLOOR AREA: 122,578 SF

GAS STATION BUILDING SQUARE FOOTAGE:
EXISTING GROSS FLOOR AREA: 2,573 SF PROPOSED GROSS FLOOR AREA: 3,012 SF USEABLE FLOOR AREA: 1,409 SF



SITE LOCATION MAP
SCALE: N.T.S.

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CONSULTANT

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Seal

01-21-2022

Daniel J. Schell

OWNER'S CONSTRUCTION MANAGER

ROCKFORD
CONSTRUCTION

meijer

Store 194 Gas Station - Addition

MEIJER PROJECT #:
CP-22-00194

1085 E Clinton Trail,
Charlotte, MI 48813

2022 STORE REFRESH

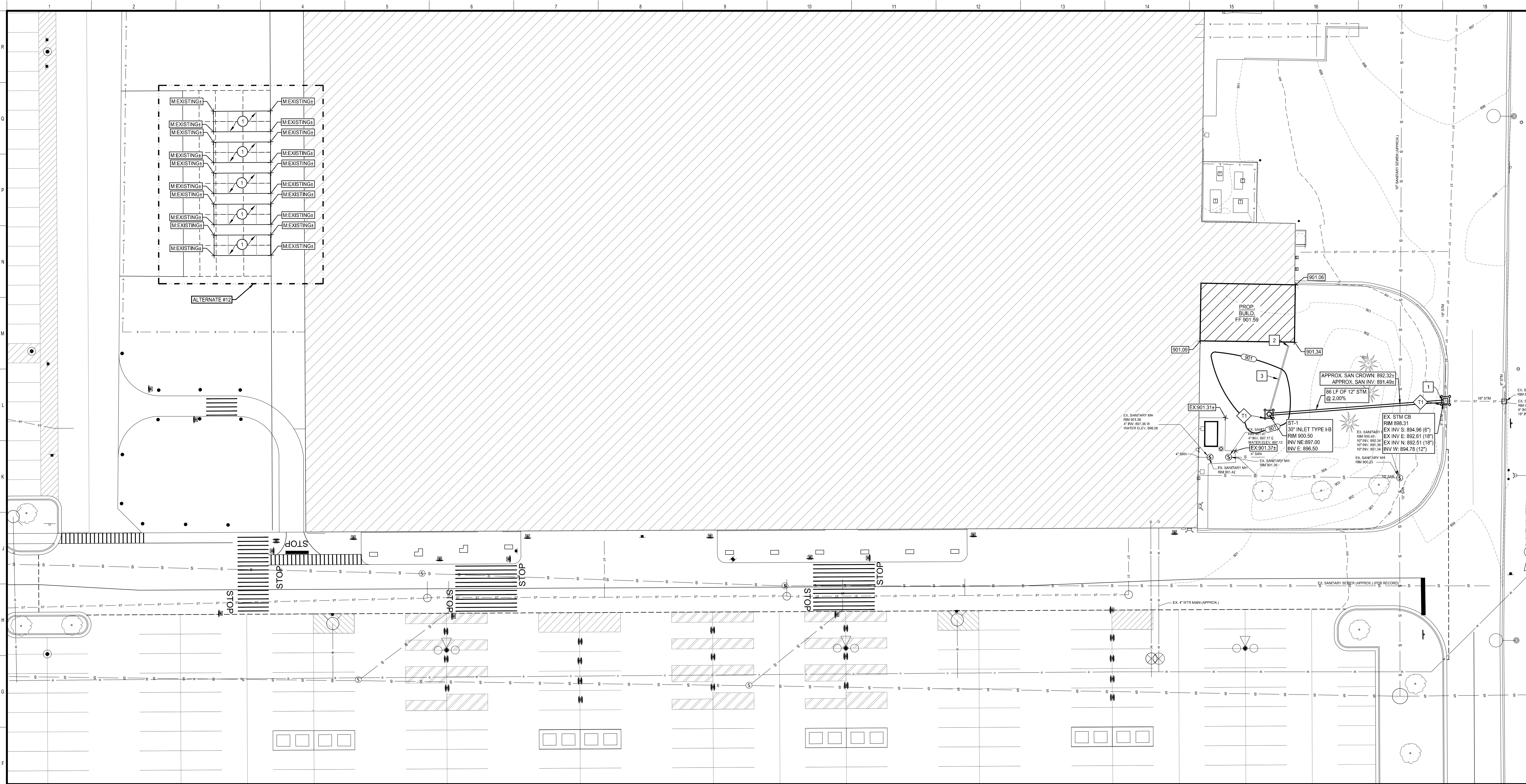
Revisions		
No.	Description	Date

Project No: 2101804	Issue Date: 01/21/2022
Submit: Issues for Bids, Permits and Construction	

Overall Site Plan

CG100

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SITE GRADING AND UTILITY PLAN

SCALE: 1" = 20'

STORM SEWER NOTES:

- MATERIAL AND WORKMANSHIP SHALL COMPLY WITH THE CITY OF CHARLOTTE STANDARDS AND SPECIFICATIONS.
- ALL PIPE 12" AND SMALLER SHALL BE SDR 35 PVC, OR ADS N-12 HDPE UNLESS OTHERWISE NOTED. ALL PIPE SHALL BE INSTALLED ACCORDING TO SPECIFICATIONS AND PIPE TRENCH DETAIL C1/C-700.
- MAINTAIN 10'-0" MINIMUM HORIZONTAL AND 18" MINIMUM VERTICAL SEPARATION BETWEEN ALL SEWER PIPING AND POTABLE WATER PIPING. WHEN MINIMUM TOLERANCES CANT BE MAINTAINED, USE WATERWORKS GRADE PIPE AND FITTINGS OF MATERIAL SELECTED.
- ALL UNDERGROUND PIPING FOR ROOF DRAIN COLLECTION SYSTEM SHALL BE 6" SDR 35 PVC STORM @ 1.00% MIN. SLOPE UNLESS NOTED OTHERWISE.

GRADING LEGEND:

- 801 --- EXISTING CONTOUR
- 801 --- PROPOSED CONTOUR
- XXX.xx PROPOSED SPOT ELEVATION
- EX XXX.xx EXISTING SPOT ELEVATION
- RXXX.xx PROPOSED RIM
- MXXX.xx MATCH EXISTING SPOT
- PROPOSED FLOW INTENT

NOTE: ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.

GRADING NOTES:

- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.
- SURVEY NOT PROVIDED IN GARDEN CENTER AREA. PRIOR TO CONSTRUCTION, CONTRACTOR TO ASSURE POSITIVE DRAINAGE CAN BE ATTAINED AWAY FROM BUILDING AND ACROSS PAVEMENT. IF POSITIVE DRAINAGE CANNOT BE ATTAINED, CONTRACTOR TO CONTACT ENGINEERING RESOURCES FOR DESIGN OF STORM INLETS.
- GENERAL NOTE (NOT LABELED ON PLAN): SURVEY PROVIDED DURING THE DESIGN PHASE DID NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO FIELD VERIFY AND ADJUST ANY UTILITY CASTINGS WITHIN PROJECT LIMITS TO PROPOSED GRADE.

UTILITY LEGEND:

- STORM INLET
- STORM SEWER

UTILITY NOTES:

ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT THEIR EXPENSE PER THE CONTRACT DOCUMENTS.

- CORE HOLE IN EXISTING STORM STRUCTURE FOR PROPOSED CONNECTION. PROVIDE WATER TIGHT CONNECTION.
- COORDINATE STORM CONNECTION WITH BUILDING DRAWINGS.
- 6" DOWNSPOUT CONNECTION @ MINIMUM 1.00% SLOPE. MAINTAIN 3" MINIMUM COVER. TIE INTO STORM SEWER NETWORK. INSTALL PER PIPE TRENCH DETAIL C1/C-700.

NOTE:

ALL UTILITIES SHOWN ARE APPROXIMATE LOCATION FROM FIELD DATA, DESIGN DRAWINGS, AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.

EROSION CONTROL NOTES:

PRE-CONSTRUCTION ACTIVITY

- CONTACT THE MICHIGAN UTILITIES PROTECTION SERVICE "MICHIGAN 811" TO LOCATE UNDERGROUND UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO EARTH DISTURBING ACTIVITIES. MARK UTILITIES ON THE PROJECT SITE.
- PRESERVE AND PROTECT TREES, SHRUBS, EXISTING VEGETATION AND EXISTING ITEMS TO REMAIN ON THE SITE.
- ESTABLISH EQUIPMENT AND EMPLOYEE PARKING AND STAGING AREAS.
- PROTECT EXISTING STORM WATER SEWER SYSTEM INLETS WITH INLET PROTECTION DEVICES. ANY STORM SEWER STRUCTURES LOCATED CLOSE TO PROPOSED WORK SHALL HAVE INLET PROTECTION DEVICES INSTALLED.

CONSTRUCTION ACTIVITY

- DE-WATER THE CONSTRUCTION SITE WHEN NEEDED.
- BEGIN DEMOLITION OF ITEMS TO BE REMOVED FOR THE PROPOSED CONSTRUCTION.
- INSTALL CONCRETE WASHOUT AREA(S) TO BE USED DURING CONSTRUCTION OF ROADS, PARKING LOTS, SIDEWALKS, AND BUILDINGS. CONTRACTOR TO USE PREFABRICATED PORTABLE CONCRETE WASHOUT SYSTEMS / CONTAINERS WITH A MINIMUM SUMP CAPACITY OF 2 CU YDS.
- PLACE INLET PROTECTION DEVICES AT ALL INLETS SPECIFIED ON THE SITE GRADING PLAN.
- CONSTRUCT UTILITIES, PARKING LOTS, SIDEWALKS AND BUILDING(S).
- REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

EROSION CONTROL LEGEND:

- INLET PROTECTION

EROSION CONTROL KEY:

- INLET PROTECTION DEVICE: SILT-SAVER, SILT SAVER, INC., COVINGTON, GA, OR SILTSACK, ACF ENVIRONMENTAL, RICHMOND, VA. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



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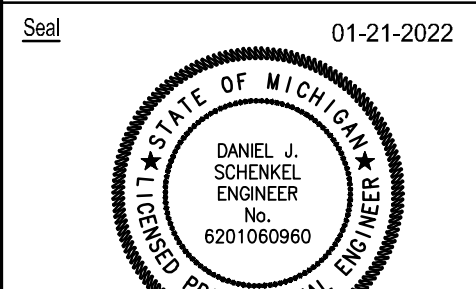
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Daniel J. Schell

OWNER'S CONSTRUCTION MANAGER



Store 194 Addition & Renovation

MEIJER PROJECT #:
CP-22-00194

1167 E Clinton Trail,
Charlotte, MI 48813

2022 STORE REFRESH

Revisions

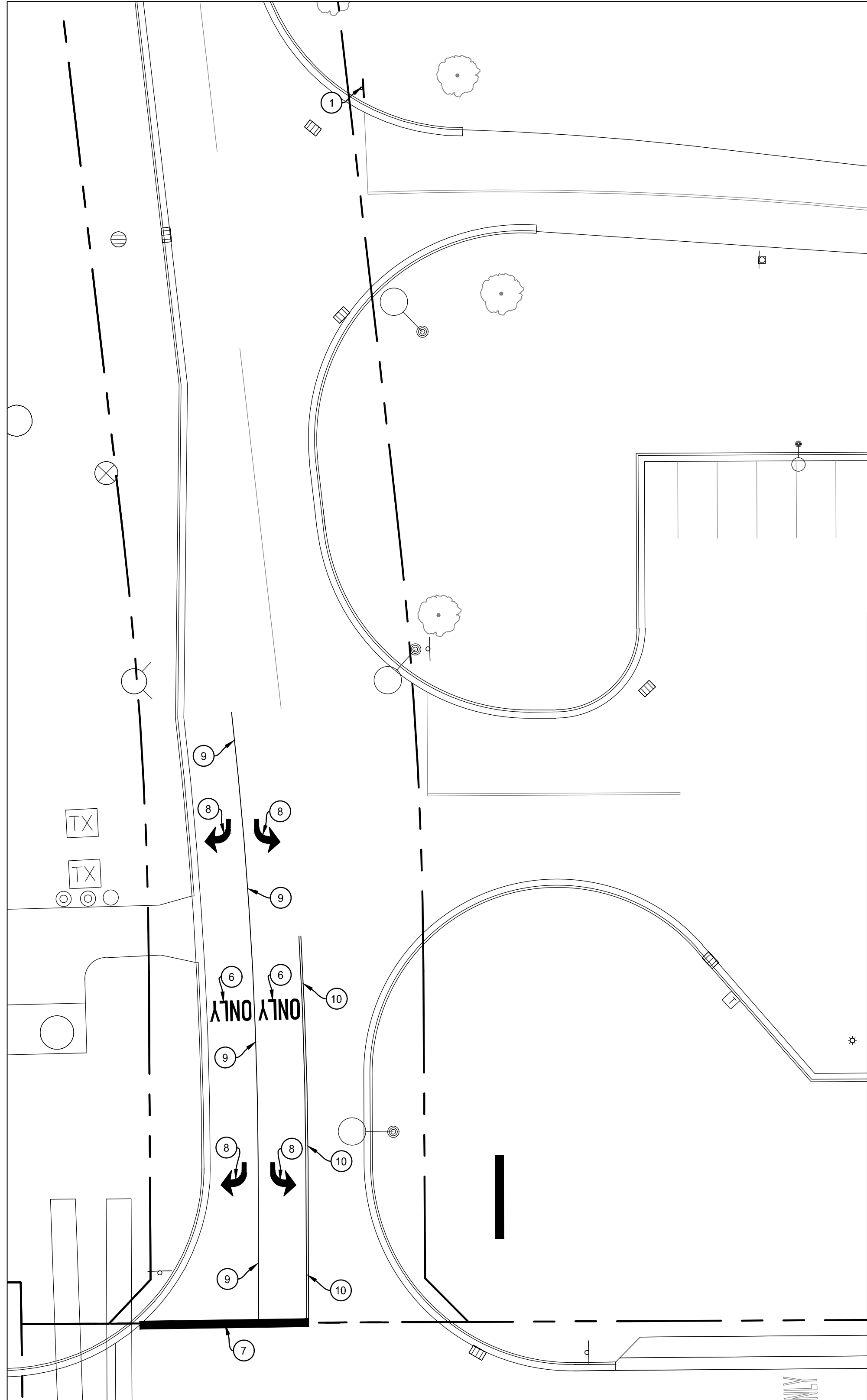
No.	Description	Date

Project No.
2101804
Issue Date
01/21/2022
Submit
Issues for Bids, Permits and Construction

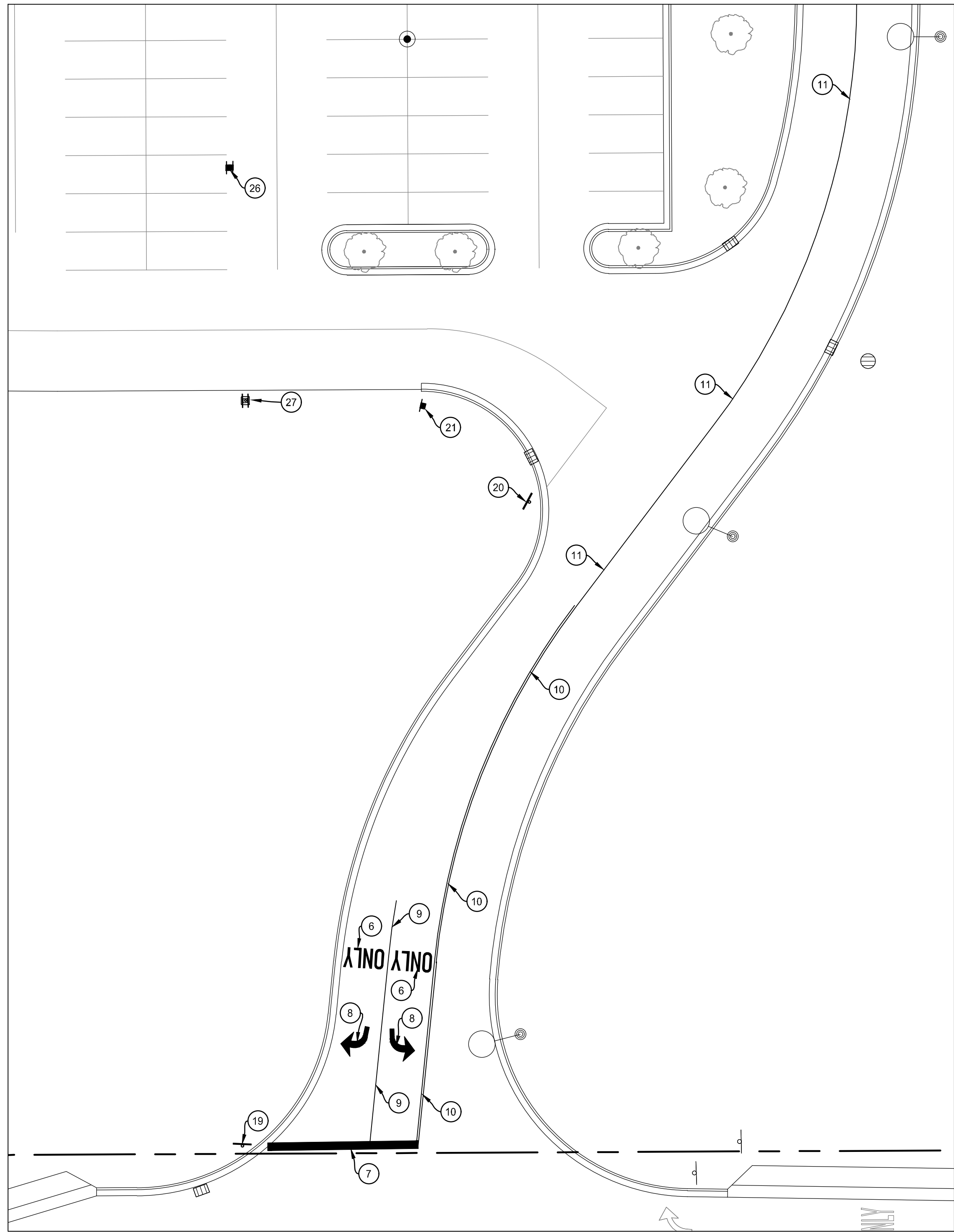
Site Grading and
Utility Plan

C-301

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January 21, 2022 3:43 PM



CLINTON TRAIL ENTRY/EXIT SIGNAGE AND STRIPING PLAN - WEST
SCALE: 1" = 20'



CLINTON TRAIL ENTRY/EXIT SIGNAGE AND STRIPING PLAN - EAST
SCALE: 1" = 20'

PAVEMENT STRIPING NOTES:

1. REFER TO SHEET C-700 FOR SIGNAGE/STRIPING DETAILS
2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.

BUILDING AND SITE SIGNAGE NOTES:

1. ALL NEW SIGNS, ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES UNLESS OTHERWISE INDICATED.

PROPOSED LEGEND:

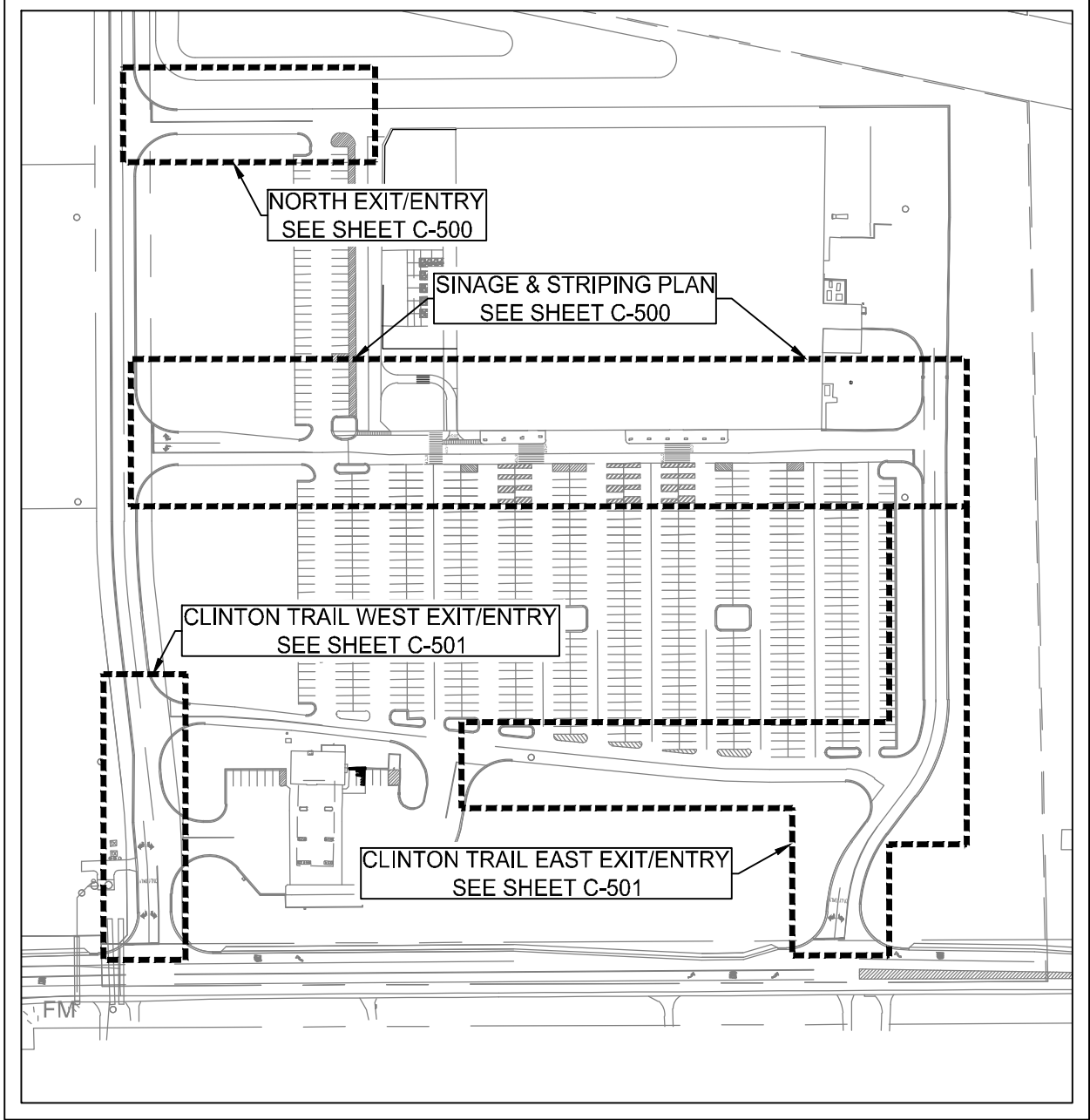
— SIGN



Know what's below.
Call before you dig.

KEY PLAN:

SCALE: 1" = 200'



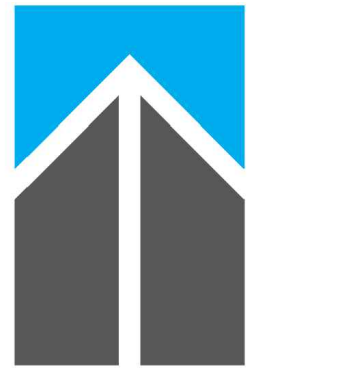
SITE STRIPING AND SIGNAGE NOTES:

ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS/HER EXPENSE PER THE CONTRACT DOCUMENTS.

- 1 REMOVE EXISTING SINGLE SIDED "STOP" SIGN AND POST. INSTALL NEW SINGLE SIDED "STOP" SIGN AND POST PER DETAIL B1/C-700 (LAWN INSTALLATION).
- 2 ALTERNATE #1: 12" STOP LINE, WHITE.
- 3 ALTERNATE #1: PEDESTRIAN CROWLWALK PER DETAIL A2/C-700.
- 4 ALTERNATE #1: 4" SINGLE SOLID LINE, COLOR YELLOW.
- 5 ALTERNATE #1: 3'-0" TALL SOLID PAINTED "STOP" LETTERS, YELLOW, PER DETAIL A2/C-700.
- 6 ALTERNATE #9: RESTRIPE 3'-0" TALL SOLID PAINTED "ONLY" LETTERS, YELLOW, PER DETAIL A3/C-700.
- 7 ALTERNATE #9: RESTRIPE 2'-0" WIDE STOP BAR, COLOR WHITE.
- 8 ALTERNATE #9: RESTRIPE PAVEMENT MARKING DIRECTIONAL ARROW PER DETAIL A3/C-700.
- 9 ALTERNATE #9: RESTRIPE 4" SINGLE SOLID LINE, COLOR WHITE.
- 10 ALTERNATE #9: RESTRIPE DOUBLE 4" SOLID LINES, COLOR YELLOW.
- 11 ALTERNATE #9: RESTRIPE SINGLE 4" SOLID LINES, COLOR YELLOW.
- 12 REMOVE EXISTING SINGLE SIDED "PHARMACY DRIVE-UP" SIGN FROM BASE. EXISTING POST AND BASE SHALL REMAIN. INSTALL NEW DOUBLE SIDED "PHARMACY DRIVE-UP" SIGN ON EXISTING BASE PER DETAIL B1/C-700.

- 13 REMOVE EXISTING SINGLE SIDED "HANDICAP PARKING" SIGN AND BASE.
- 14 INSTALL NEW DOUBLE SIDED "HANDICAP PARKING" SIGN ON CONCRETE BASE PER DETAIL B1/C-700.
- 15 REMOVE EXISTING SINGLE SIDED "STOP" SIGN AND BASE. INSTALL NEW SINGLE SIDED "STOP" SIGN ON CONCRETE BASE PER DETAIL B1/C-700.
- 16 REMOVE EXISTING DOUBLE SIDED "PICKUP PARKING" SIGN AND BASE. SALVAGE "NUMBER" SIGNS FOR REUSE.
- 17 REMOVE EXISTING DOUBLE SIDED "PICKUP PARKING" SIGN AND BASE. SALVAGE "NUMBER" SIGNS FOR REUSE. INSTALL NEW DOUBLE SIDED "PICKUP PARKING" SIGN ON NEW BASE PER DETAIL B1/C-700. REUSE SALVAGED "NUMBER" SIGNS.
- 18 INSTALL NEW DOUBLE SIDED "PICKUP PARKING" SIGN ON NEW BASE PER DETAIL B1/C-700. REUSE ANY REMAINING SALVAGED NUMBER SIGNS AND PROVIDE ADDITIONAL NUMBER SIGNS AS NEEDED.
- 19 REMOVE EXISTING SINGLE SIDED "STOP" SIGN FROM POST. EXISTING POST SHALL REMAIN. INSTALL NEW SINGLE SIDED "STOP" SIGN ON EXISTING POST PER DETAIL B1/C-700 (LAWN INSTALLATION).
- 20 INSTALL NEW SINGLE SIDED "STOP" SIGN ON NEW POST PER DETAIL B1/C-700 (LAWN INSTALLATION).
- 21 REMOVE EXISTING SINGLE SIDED "STOP" SIGN AND BASE.
- 22 INSTALL NEW SINGLE SIDED "STOP" SIGN ON CONCRETE BASE PER DETAIL B1/C-700.
- 23 REMOVE EXISTING DOUBLE SIDED "QUICK TRIP" SIGN AND BASE. SALVAGE EXISTING SIGNS FOR REUSE.
- 24 REMOVE EXISTING DOUBLE SIDED "QUICK TRIP" SIGN AND BASE. SALVAGE EXISTING SIGNS FOR REUSE. INSTALL NEW DOUBLE SIDED "QUICK TRIP" SIGN ON NEW BASE PER DETAIL B1/C-700. REUSE ANY REMAINING SALVAGED "QUICK TRIP" SIGNS.
- 25 INSTALL NEW DOUBLE SIDED "QUICK TRIP" SIGN ON NEW BASE PER DETAIL B1/C-700. REUSE ANY REMAINING SALVAGED "QUICK TRIP" SIGNS.
- 26 REMOVE EXISTING DOUBLE SIDED CURBSIDE DIRECTIONAL SIGN AND BASE. SALVAGE EXISTING SIGNS FOR REUSE.
- 27 INSTALL NEW DOUBLE SIDED CURBSIDE DIRECTIONAL SIGN ON CONCRETE BASE PER DETAIL B1/C-700. REUSE SALVAGED EXISTING CURBSIDE DIRECTIONAL SIGNS.
- 28 REMOVE EXISTING "NO PARKING FIRE LANE" SIGN ON FACE OF BUILDING.
- 29 REMOVE EXISTING SINGLE SIDED "NO PARKING FIRE LANE" SIGN AND BASE.
- 30 INSTALL NEW SINGLE SIDED "NO PARKING FIRE LANE" SIGN ON NEW BASE PER DETAIL B1/C-700.
- 31 REMOVE EXISTING SINGLE SIDED "NO PARKING FIRE LANE" SIGN AND POST. INSTALL NEW SINGLE SIDED "NO PARKING FIRE LANE" SIGN ON NEW POST PER DETAIL B1/C-700 (LAWN INSTALLATION).
- 32 REMOVE EXISTING SINGLE SIDED "NO PARKING AT ANY TIME" SIGN AND BASE. INSTALL NEW SINGLE SIDED "NO PARKING AT ANY TIME" SIGN ON CONCRETE BASE PER DETAIL B1/C-700.
- 33 INSTALL NEW DOUBLE SIDED "STOP" SIGN AND "WRONG WAY" SIGN ON CONCRETE BASE PER DETAIL B1/C-700.
- 34 REMOVE EXISTING DOUBLE SIDED ADA SIGN AND BASE. INSTALL NEW DOUBLE SIDED ADA SIGN ON CONCRETE BASE PER DETAIL B1/C-700.

NOTE: NOT ALL KEYNOTES ARE USED ON THIS SHEET.



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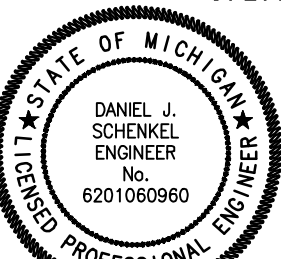
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Seal

01-21-2022



Daniel J. Schell

OWNER'S CONSTRUCTION MANAGER



ROCKFORD
CONSTRUCTION

meijer

Store 194 Addition &
Renovation

MEIJER PROJECT #:
CP-22-00194

1167 E Clinton Trail,
Charlotte, MI 48813

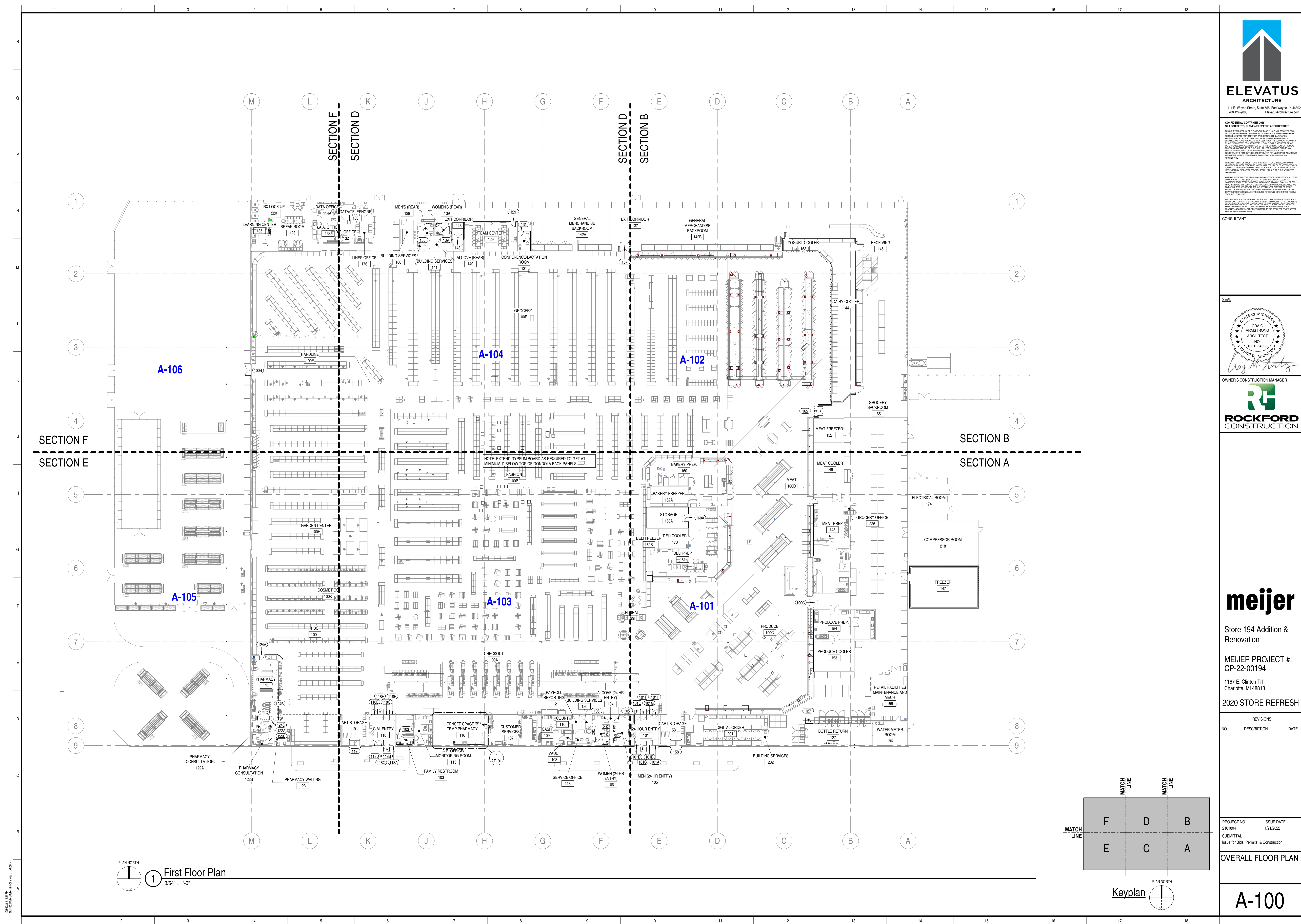
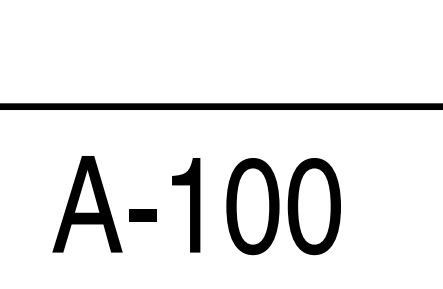
2022 STORE REFRESH

Revisions		
No.	Description	Date

Project No. 2101804	Issue Date 01/21/2022
Submital Issues for Bids, Permits and Construction	

Site Signage and
Striping Plans

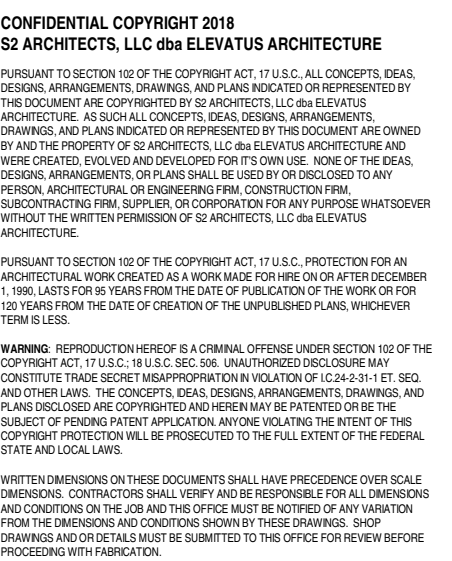
C-501



C-1

CAG	DESCRIPTION
C-2	EXPOSED SITE CAST CONCRETE CURBING
EF-1	EFS COLOR TO MATCH SW47640 "FAWN BRINDLE". TEXTURE TO BE SITO LUT.
EF-2	EFS COLOR TO MATCH SW47640 "ANONYMOUS". TEXTURE TO BE SITO LUT.
EF-3	EFS COLOR TO MATCH SW47641 "COLONADE GRAY". TEXTURE TO BE SITO LUT.
EF-4	EFS COLOR TO MATCH SW47642 "FAWN BRINDLE". TEXTURE TO BE SITO LUT.
EP-1	PAINIT EXTERIOR SURFACE TO MATCH SW47640 "ANONYMOUS"
EP-2	PAINIT EXTERIOR SURFACE TO MATCH SW47641 "COLONADE GRAY"
EP-3	PAINIT EXTERIOR SURFACE TO MATCH SW47642 "FAWN BRINDLE"
EP-4	PAINIT EXTERIOR SURFACE TO MATCH SW47643 "LOVLY LAKE"
EP-5	GLASS - EXISTING GLASS TO REMAIN
G-1	"TEMPERED, TEMPERED AT CARG STORAGE DOORS"
G-2	"INSULATED, TEMPERED WHERE INDICATED"
G-3	"GLASS UNIT CLEAR."
G-4	"SPANDREL GLASS UNIT WHERE INDICATED"
G-5	"APPLY BLACKOUT FILM ON EXISTING GLASSING"
MA-1	STAIN EXISTING BRICK TO MATCH "SIENNA BLEND VELOUR"
MA-2	"THIN BRICK VENEER - COLOR "SIENNA BLEND VELOUR". UTILITY SIZE BY B.
MA-2A	"THIN BRICK VENEER - COLOR "SIENNA BLEND VELOUR". UTILITY SIZE BY B.
MA-3	"4" SMOOTH FACE CMU - BEHIND GARDENWAY CONSTRUCTION"
MA-4	"BRICK VENEER - EXISTING BRICK TO REMAIN"
MA-5	STAIN BRICK TO MATCH SW47640 "FAWN BRINDLE"
MT-1	REFINISHED 22 GA METAL CAP FLASHING/BREAK METAL. COLOR TO BE PAC-LAD
MT-2	REFINISHED 22 GA METAL CAP FLASHING/BREAK METAL. COLOR TO BE PAC-LAD
MT-3	REFINISHED 1" METAL FASCIA PANEL. COLOR TO BE PAC-LAD "BONE WHITE"
MT-4	REFINISHED 1" METAL FASCIA PANEL. COLOR TO BE PAC-LAD "INTERSTA"
MT-5	REFINISHED 1" METAL FASCIA PANEL. PAINIT SURFACE TO MATCH SW47641
MT-6	REFINISHED METAL SOFFIT PANEL. COLOR TO BE PAC-LAD "BONE WHITE"
MT-7	REFINISHED 1" METAL FASCIA PANEL. COLOR TO BE PAC-LAD "INTERSTA"
MT-8	REFINISHED CORRUGATED METAL FASCIA. PAC-LAD "ALUMINO" OR PAINIT
MT-9	REFINISHED ALUMINUM BREAK METAL TO MATCH WINDOW FRAMING SYSTEM
MT-10	REFINISHED ALUMINUM BREAK METAL TO MATCH WINDOW FRAMING SYSTEM
T	TEMPERED GLASSING
W-1	REMOVE EXISTING SEALANT AND BACKING. PROVIDE NEW BACKER ROD AND SEALANT

TAG	DESCRIPTION
C-2	EXPOSED SITE CAST CONCRETE CURB
E-F1	EIPS COLOR TO MATCH SW#6740 "FAWN BRINDLE". TEXTURE TO BE STO IT 2.25 WITH 3/4" V-GROOVES.
E-F2	EIPS COLOR TO MATCH SW#6740 "ANONYMOUS". TEXTURE TO BE STO IT 2.25 WITH 3/4" V-GROOVES.
E-F3	EIPS COLOR TO MATCH SW#6741 "COLONNAGE GRAY". TEXTURE TO BE STO IT 2.25 WITH 3/4" V-GROOVES.
E-F4	PAINTE EXTERIOR SURFACE TO MATCH SW#6740 "FAWN BRINDLE"
E-F5	PAINTE EXTERIOR SURFACE TO MATCH SW#6740 "ANONYMOUS"
EPT-3	PAINTE EXTERIOR SURFACE TO MATCH SW#6741 "COLONNAGE GRAY"
EPT-4	PAINTE EXTERIOR SURFACE TO MATCH PAC-CAD "BONE WHITE"
EPT-5	PAINTE EXTERIOR SURFACE TO MATCH SW#610 "LOVAL BLUE"
G-1	GLASS - EXISTING GLASS TO REMAIN
G-2	GLASS - "GRAY TINT," I- INSULATED, TEMPERED AT CART STORAGE DOORS.
G-3	GLASS UNIT CLEAR, I- INSULATED, TEMPERED WHERE INDICATED.
G-4	SPANDREL GLASS UNIT WHERE INDICATED
G-5	APPLY BLACK FILM ON EXISTING GLAZING
MA-1	STAIN EXISTING BRICK TO MATCH "SIENNA BLEND VELOUR"
MA-2	FACE BRICK VENEER - COLOR "SIENNA BLEND VELOUR"; UTILITY SIZE BY BELDEN BRICK - FIELD
MA-2A	THIN BRICK VENEER - COLOR "SIENNA BLEND VELOUR"; UTILITY SIZE BY BELDEN BRICK - FIELD
MA-3	4" SMOOTH FACE CMU - BEHIND CANOPY CONSTRUCTION
MA-4	FACE BRICK VENEER - EXISTING FACE BRICK TO REMAIN
MA-5	STAIN BRICK TO MATCH SW#6740 "FAWN BRINDLE"
MT-1	PREFINISHED 22 GA GALV FLASHING BREAK METAL. COLOR TO BE PAC-CAD "BONE WHITE"
MT-2	PREFINISHED 22 GA GALV FLASHING BREAK METAL. COLOR TO BE PAC-CAD "INTERSTATE BLUE"
MT-3	PREFINISHED 1" METAL FASCIA PANEL. COLOR TO BE PAC-CAD "BONE WHITE"
MT-4	PREFINISHED 1" METAL FASCIA PANEL. COLOR TO BE PAC-CAD "INTERSTATE BLUE"
MT-5	PREFINISHED 1" METAL FASCIA PANEL. PAINT SURFACE TO MATCH SW#6741 "COLONNAGE GRAY"
MT-6	PREFINISHED METAL SOFFIT PANEL. COLOR TO BE PAC-CAD "BONE WHITE" OR BERTRIDGE "SHASTA WHITE"
MT-7	PREFINISHED ALUMINUM SOFFIT PANEL. COLOR TO BE PAC-CAD "INTERSTATE BLUE"
MT-8	PREFINISHED CORRUGATED METAL. PAC-CAD "ALUMINO" OR PAINT TO MATCH "SW#6741"
MT-9	PREFINISHED ALUMINUM BREAK METAL TO MATCH WINDOW FRAMING SYSTEM. COLOR "CLEAR ANODIZED"
MT-10	PREFINISHED ALUMINUM BREAK METAL TO MATCH WINDOW FRAMING SYSTEM. COLOR "MEDIUM BRONZE"
	I- TEMPERED GLAZING
WS-1	REMOVE EXISTING SEALANT AND BACKING. PROVIDE NEW BACKER ROD AND CONTINUOUS TOOLLED SEALANT - ENTIRE PERIMETER



CONSULTANT

EAI



UNIFORM CONSTRUCTION MANAGER



meijer

Store 194 Addition & Renovation

MEIJER PROJECT #:
CP-22-00194

1167 E. Clinton Trl
Charlotte, MI 48813

2020 STORE REFRESH

REVISIONS		
NO.	DESCRIPTION	DATE

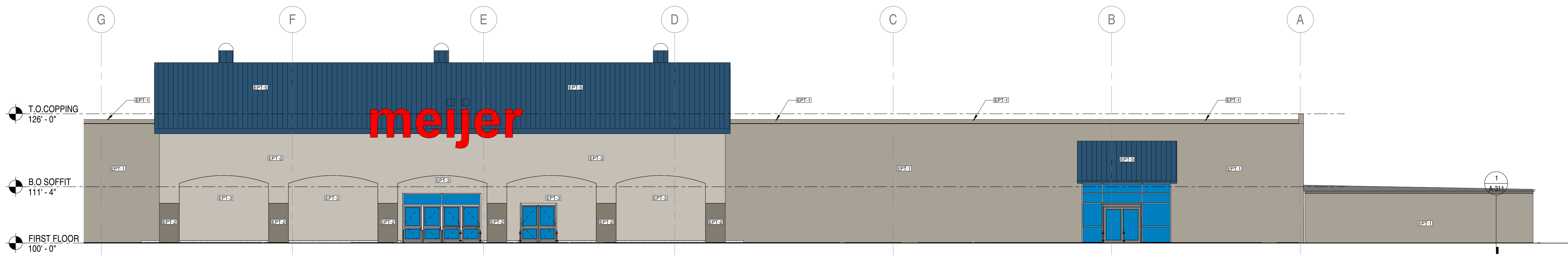
<u>PROJECT NO.</u>	<u>ISSUE DATE</u>
101804	1/21/2022
<u>SUBMITTAL</u>	
Issue for Bids, Permits, & Construction	

BUILDING ELEVATIONS

A-201



2 Exterior Elevation - Center
3/32" = 1'-0"



1 Exterior Elevation - Bookend & 24-Hr. Entry
3/32" = 1'-0"

21/02/22 3:12:24 PM
 360-11Major+Mejor 724-Charles ML_ARCH_INT



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CONSULTANT

EAL



OWNER'S CONSTRUCTION MANAGER

**meijer**

Store 194 Addition & Renovation

MEIJER PROJECT #:
CP-22-00194

1167 E. Clinton Trl
Charlotte, MI 48813

2020 STORE REFRESH

REVISIONS		
D.	DESCRIPTION	DATE

<u>PROJECT NO.</u>	<u>ISSUE DATE</u>
101804	1/21/2022
<u>SUBMITTAL</u>	
Use for Bids, Permits, & Construction	

BUILDING ELEVATIONS

A-202



SCALE: 1" = 10'

CG301

FLOOR PLAN NOTES	
TAG	DESCRIPTION
3.01	
DIV 3 - CONCRETE	
3.05	NEW INTERIOR CONCRETE SLAB - REFER TO GENERAL NOTES
DIV 6 - WOOD, PLASTICS, AND COMPOSITES	
6.01	NEW CASEWORK - REFER TO MEJUR "Q" DOCUMENTS FOR ADDITIONAL INFORMATION.
6.03	OWNER PROVIDED NEW SOLID SURFACE COUNTERTOPS COMPLETE WITH 4" BACKSPLASH - COORDINATE ALL OPENINGS WITH OTHER TRADES AND MEJUR "Q" DOCUMENTS. REFER TO STANDARD BASE CABINET ISOMETRIC.
6.06	REMOVE OLD HIDE WINDOW STOOL.
DIV 8 - OPENINGS	
8.02	REMOVE OLD CAULKING AND PROVIDE NEW, FULL PERIMETER OF FRAME.
DIV 9 - FINISHES	
9.13	PROVIDE NEW 1/4" GYPSUM WALL BOARD OVERTOP OF EXISTING MASONRY WALLS TO ALLOW FOR NEW FINISH.
9.21	CHASE WALL FOR LOZIER CORNERS 1/2" GYP. BD. ON 3/8" METAL STUDS TO HEIGHT 1" TALLER THAN ADJACENT SHELVES (REFER TO MEJUR "Q" DOCUMENTS) CAP WITH 1/2" HDPE TOP AND TRIM.
DIV 11 - EQUIPMENT	
11.05	WINDOW BLINDS, MANUAL. SEE SPECER



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OWNER'S CONSTRUCTION MANAGER

**meijer**

STORE #194 GAS
STATION - ADDITION

MEIJER PROJECT #:
CP-22-00194

1085 E. Clinton Trail
Charlotte, MI 48813

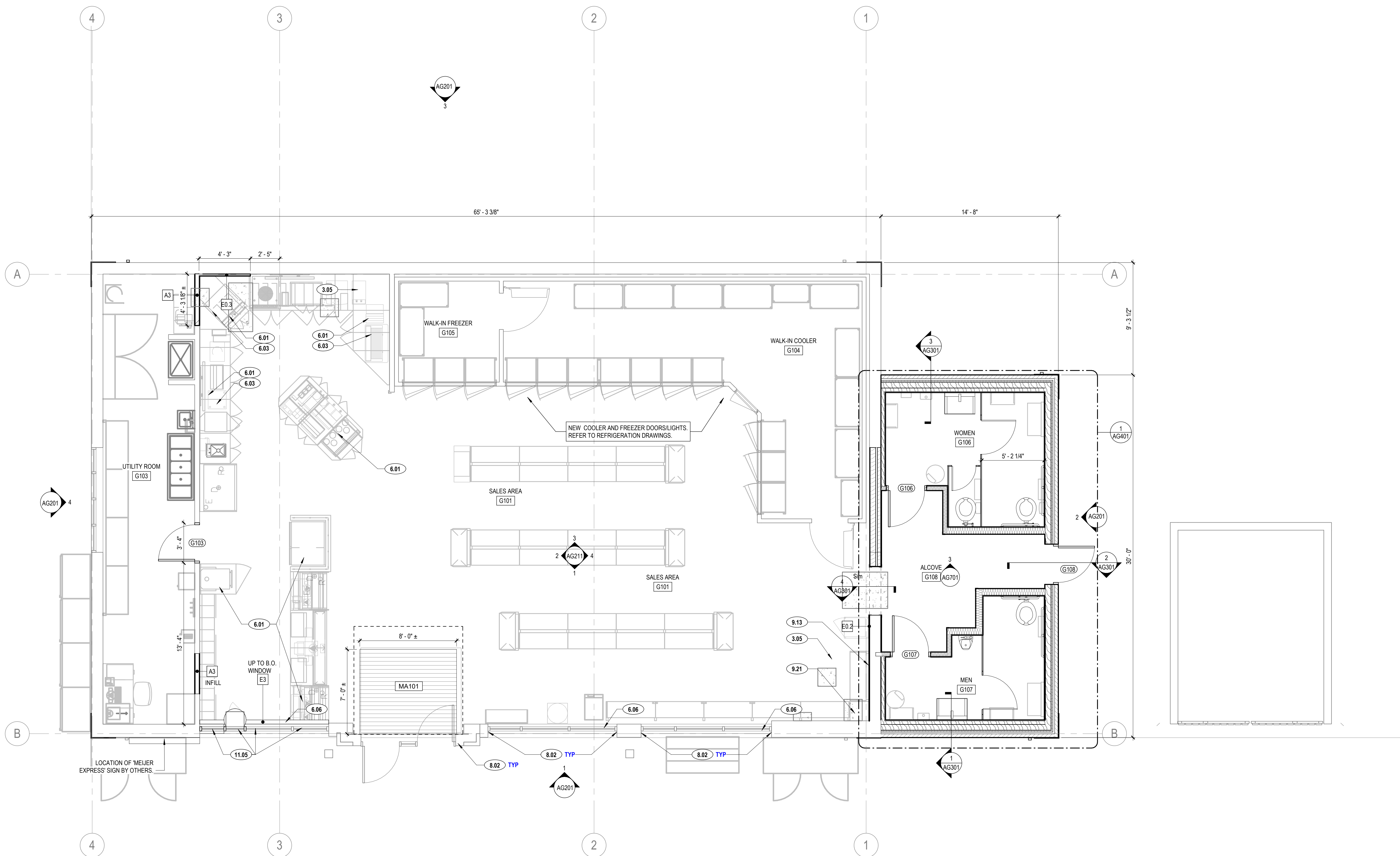
2022 STORE REFRESH

REVISIONS		
NO.	DESCRIPTION	DATE

<u>PROJECT NO.</u>	<u>ISSUE DATE</u>
101804	1/21/2022
<u>JBMITTAL</u>	
Issue for Bids, Permits, & Construction	

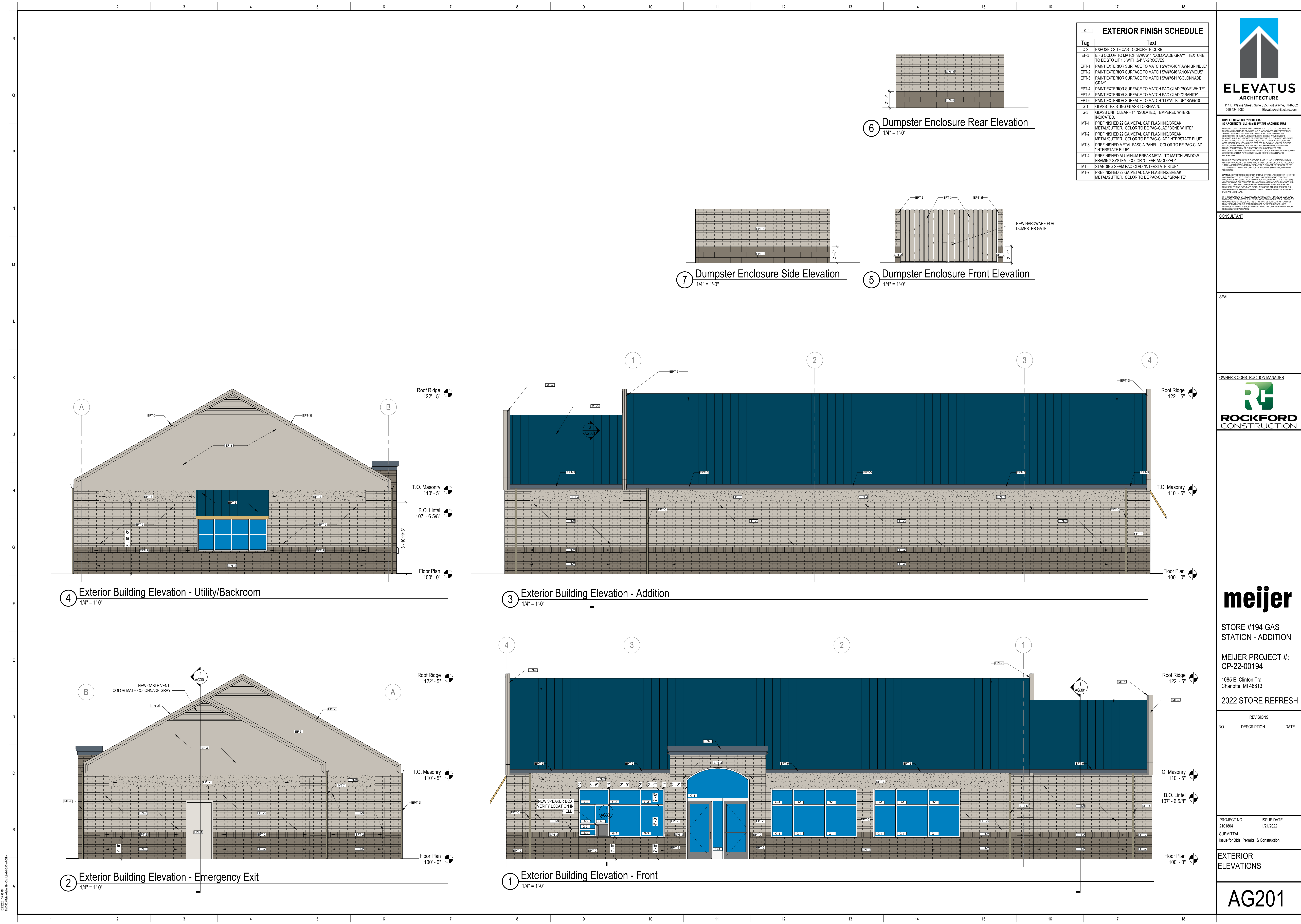
CONSTRUCTION FLOOR PLAN

AG102



1 Gas Station Plan
1/4" = 1'-0"

147 HUGH STADIN (KAPUTCHAK-76), 2019 W. 10th Ave.,
BIRM 380 (Major: Major), 944 CHARLES MILLS ARCHIVE
MILITARY 2202/2/2/2/2/2



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AUGUST 1, 2017
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STORE #194 GAS
STATION - ADDITION
MEIJER PROJECT #:
CP-22-00194
1085 E. Clinton Trail
Charlotte, MI 48813
2022 STORE REFRESH

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NO. 2101804
SUBMITTAL
Issue for Bids, Permits, & Construction

ISSUE DATE 1/21/2022
EXTERIOR ELEVATIONS

AG201

MARK	QTY	DESCRIPTION	ARIBA PART #	MANUF. / CATALOG NO.	LAMPS	VOLTAGE	REMARKS
EM2	2	REMOTE WEATHERPROOF DOUBLE HEAD, 6 VOLT, 5-WATT	GSX7	SURE-LITES #SRP25DWH	LED, 30 LUMENS, 5W, N/A, 80 CRI	120 V	MOUNT APPROX. 6'-6" ABOVE SIDEWALK, U.N.O.; PROVIDE #210 & 1#105 - 34°C TO EXIT SIGN DEVICE
EX6	3	BACK-MOUNTED POLYCARBONATE LED EXIT SIGN, REMOTE HEAD CAPACITY, SELF DIAGNOSTICS	GSX5	SURE-LITES #LPXRSSD	LED, N/A, 7W,N/A,N/A	120 V	MOUNT 6" ABOVE DOOR OR WALL OPENING, UNO
ST9	15	LED, 8'-0" LINEAR, SUSPENDED FIXTURE	GSZ	CREE #LS8-80L-40K-10V	LED, 8,000 LUMENS, 60W, 4000°K, 80 CRI	120 V	MATCH EXISTING MOUNTING HEIGHTS
ST9E	3	LED, 8'-0" LINEAR, SUSPENDED FIXTURE WITH EMERGENCY BACK-UP	GSZE	CREE #LS8-80L-40K-10V-EB14	LED, 8,000 LUMENS, 60W, 4000°K, 80 CRI	120 V	MATCH EXISTING MOUNTING HEIGHTS
ST10	1	LED, 4'-0" LINEAR, SUSPENDED FIXTURE	LS10	CREE: LS4-50L-40K-10V	LED, 5,000 LUMENS, 40W, 4000°K, 80 CRI	120 V	MATCH EXISTING MOUNTING HEIGHTS
TL1	6	LED, LINEAR TAPE LIGHT UNDERSHELF STRIP FIXTURE		LOZIER LIGHTING: LKOC3LED4000	LED 1,040 LUMENS, 7.5W, 4000°K, 85 CRI	120 V	
TR1	2	LED, 2x4, GRID MOUNTED, RECESSED LENSED TROFFER	TR1	LITHONIA #ZBLT4-40L-ADSM-EZ1-LP940	LED, 4,000 LUMENS, 32W, 4000°K, 80 CRI	120 V	
TR1E	3	LED, 2x4, GRID MOUNTED, RECESSED LENSED TROFFER WITH BATTERY BACK-UP	TR1E	LITHONIA #ZBLT4-40L-ADSM-EZ1-E10W1CLP-LP940	LED, 4,000 LUMENS, 32W, 4000°K, 80 CRI	120 V	PROVIDE UNSWITCHED HOT TO EMERGENCY
WM6	1	LED WALL PACK, SILVER, TYPE III DISTRIBUTION LUMINAIRE	GLS1	CREE #XPSPW-B-WM-3ME-4L-57K-UL-SV	LED, 4,100 LUMENS, 42W, 5700°K, 80CRI	120 V	MOUNT AT 9'-6" A.F.F.

